

BRIAN MALLISON and COURTNEY WAY

118 KIMBERLY WAY
PETALUMA, CALIFORNIA

OWNER:

BRIAN MALLISON and COURTNEY WAY
118 KIMBERLY WAY
PETALUMA, CA 94952

ARCHITECT:

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SHEET INDEX:

ARCHITECTURAL DRAWINGS

- C5 COVER SHEET
- 1 ELEVATIONS
- 2 MAIN FLOOR PLAN
- 3 LOWER FLOOR PLAN
- D4 VISITABILITY PLAN

CIVIL DRAWINGS

- C1 NOTES, AERIAL CONTEXT MAP, AND VICINITY MAP
- C2 SITE PLAN AND SECTION
- C3 OPPORTUNITIES AND CONSTRAINTS MAP

LANDSCAPE DRAWINGS

- L-1 LANDSCAPE PLAN
- L-2 TRASH ENCLOSURE

LANDSCAPE DESIGNER

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DATE 4/23

DRAWN BY:
CHECKED BY:
REVISIONS: DATE:

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△
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NOTES

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FARRELL-FABER
& ASSOCIATES IN C.
ARCHITECTURE • PLANNING

DESIGN FOR
BRIAN MALLISON and COURTNEY WAY
118 KIMBERLY WAY
PETALUMA, CALIFORNIA

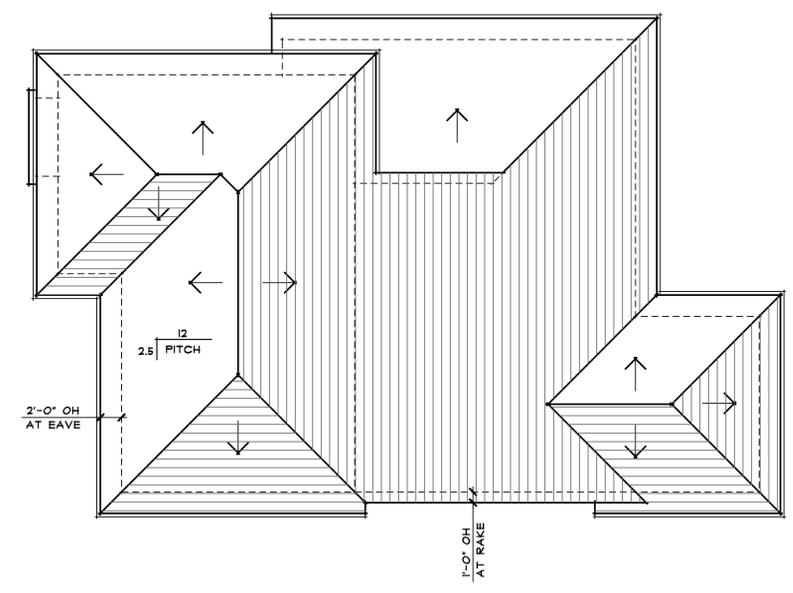
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DO NOT SCALE PLANS

SHEET JOB NO 23013

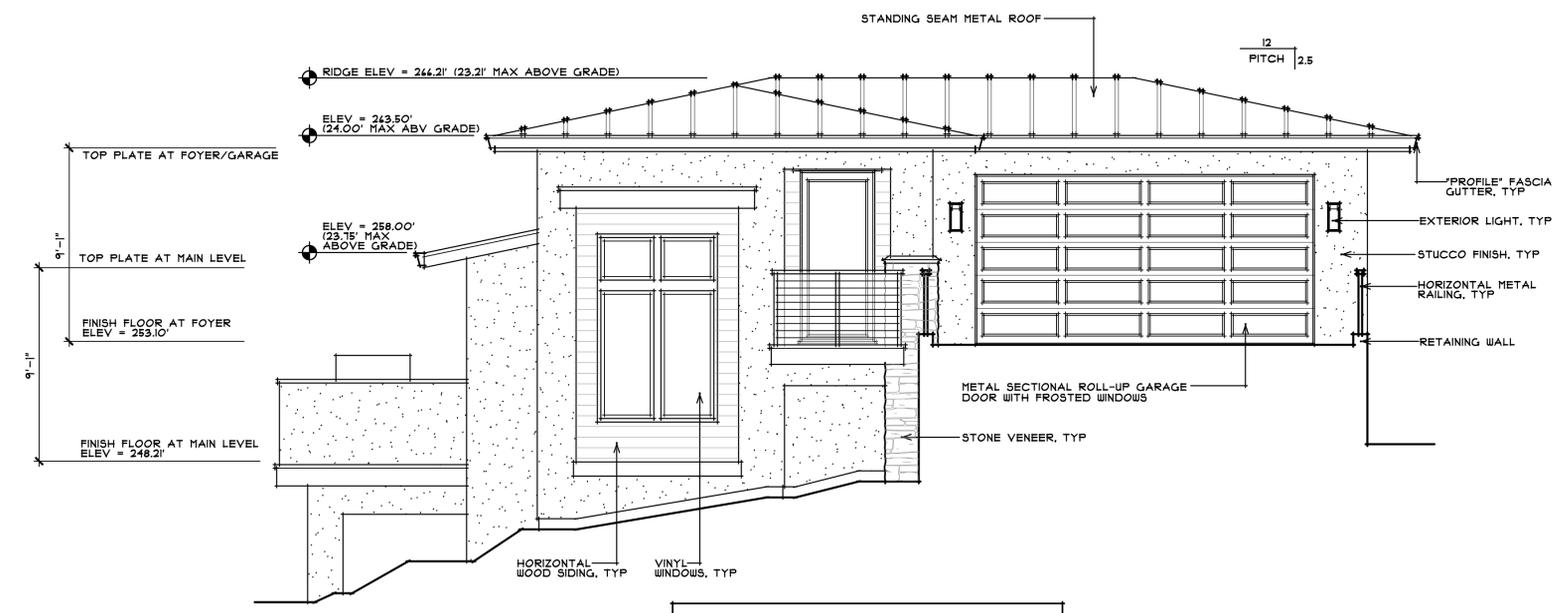
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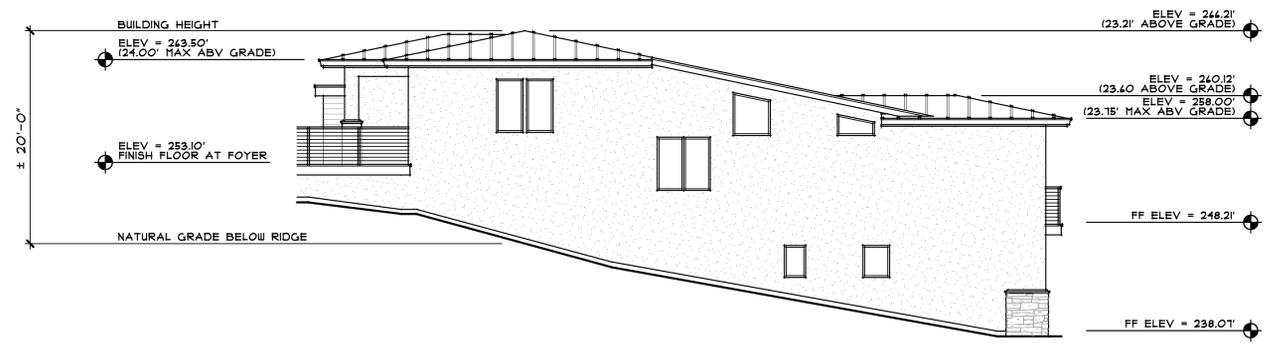
ROOF PLAN
SCALE: 1/8" = 1'-0"

FINISH SCHEDULE	
LOCATION	COLOR
STANDING SEAM ROOF:	METAL SALES 104 MATTE BLACK
WOOD:	SHERWIN WILLIAMS SW 3524 CHESTNUT
STUCCO:	BENJAMIN MOORE AF-45 FOSSIL
STONE:	ELDORADO STONE LEDGECUT33 BIRCH
WINDOWS:	MILGARD ULTRA BLACK BEAN

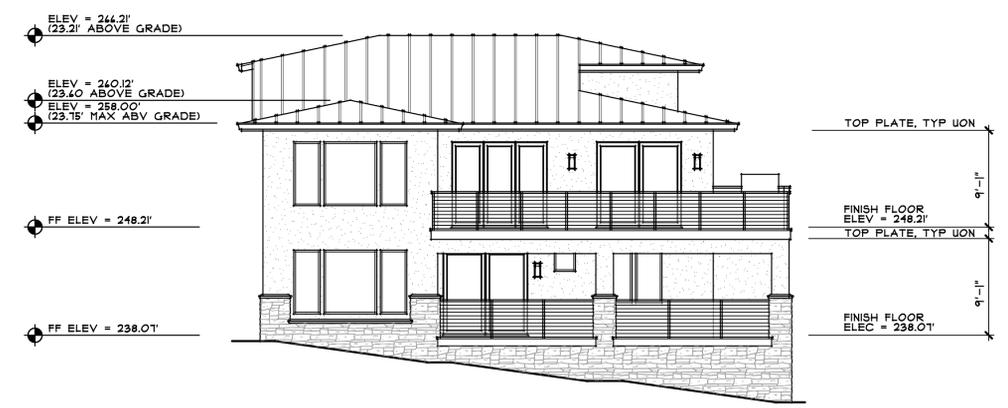
EXTERIOR LIGHTING SCHEDULE	
TYPE	STYLE
WALL SCONCE	NORWELL LIGHTING CAPTURE 11 1164-MB-CL



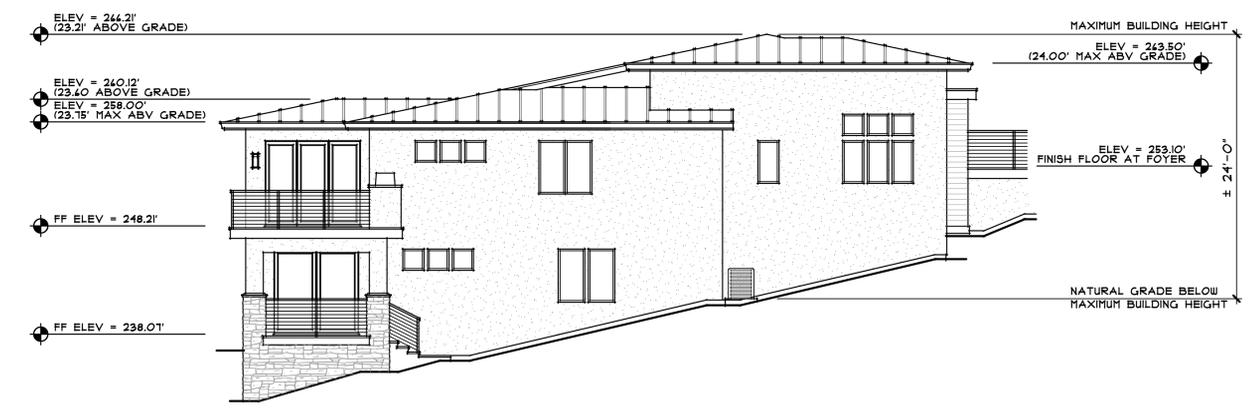
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



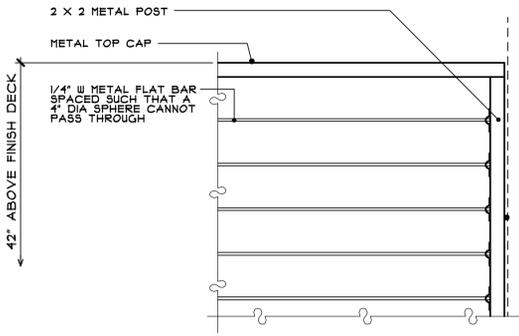
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"

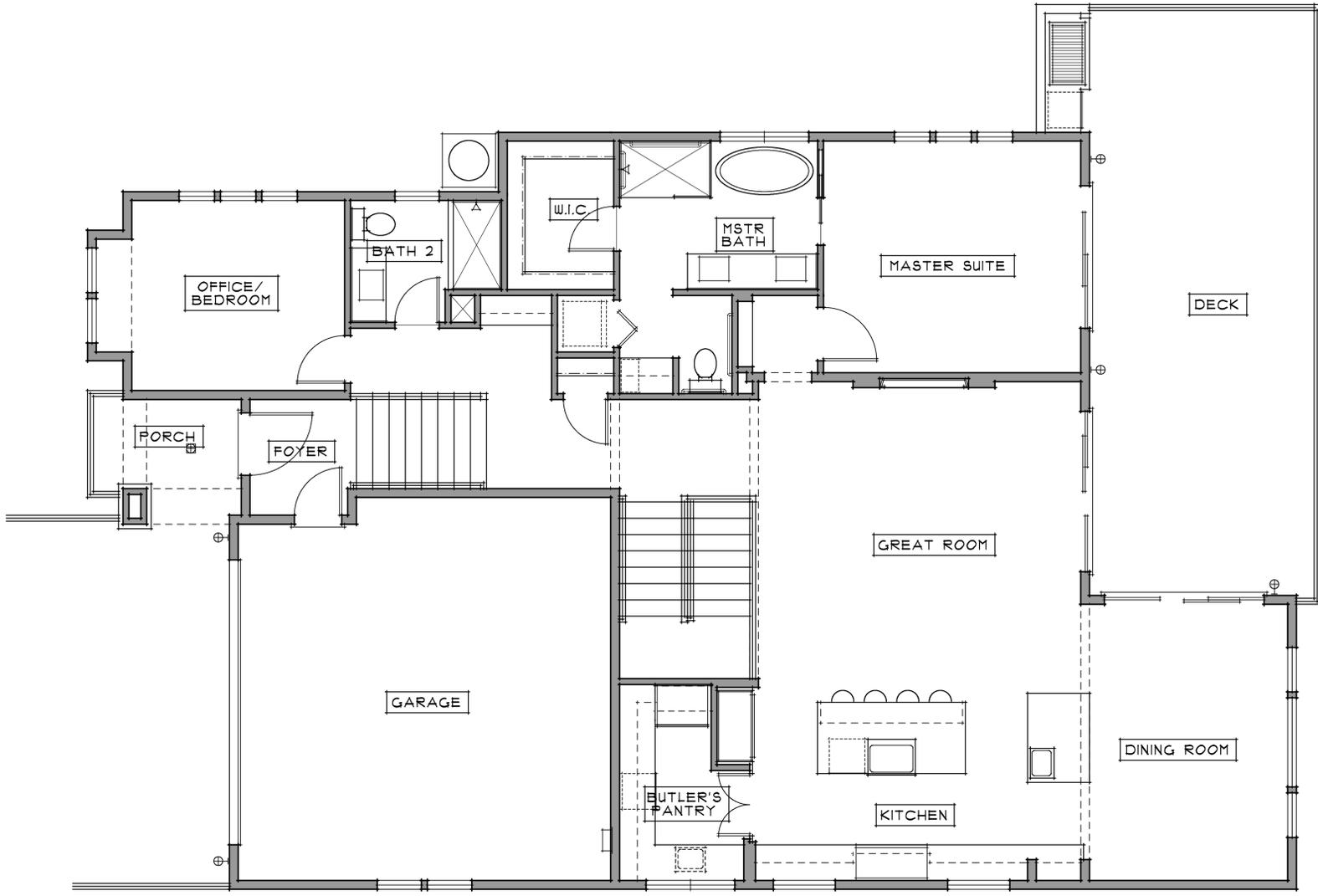


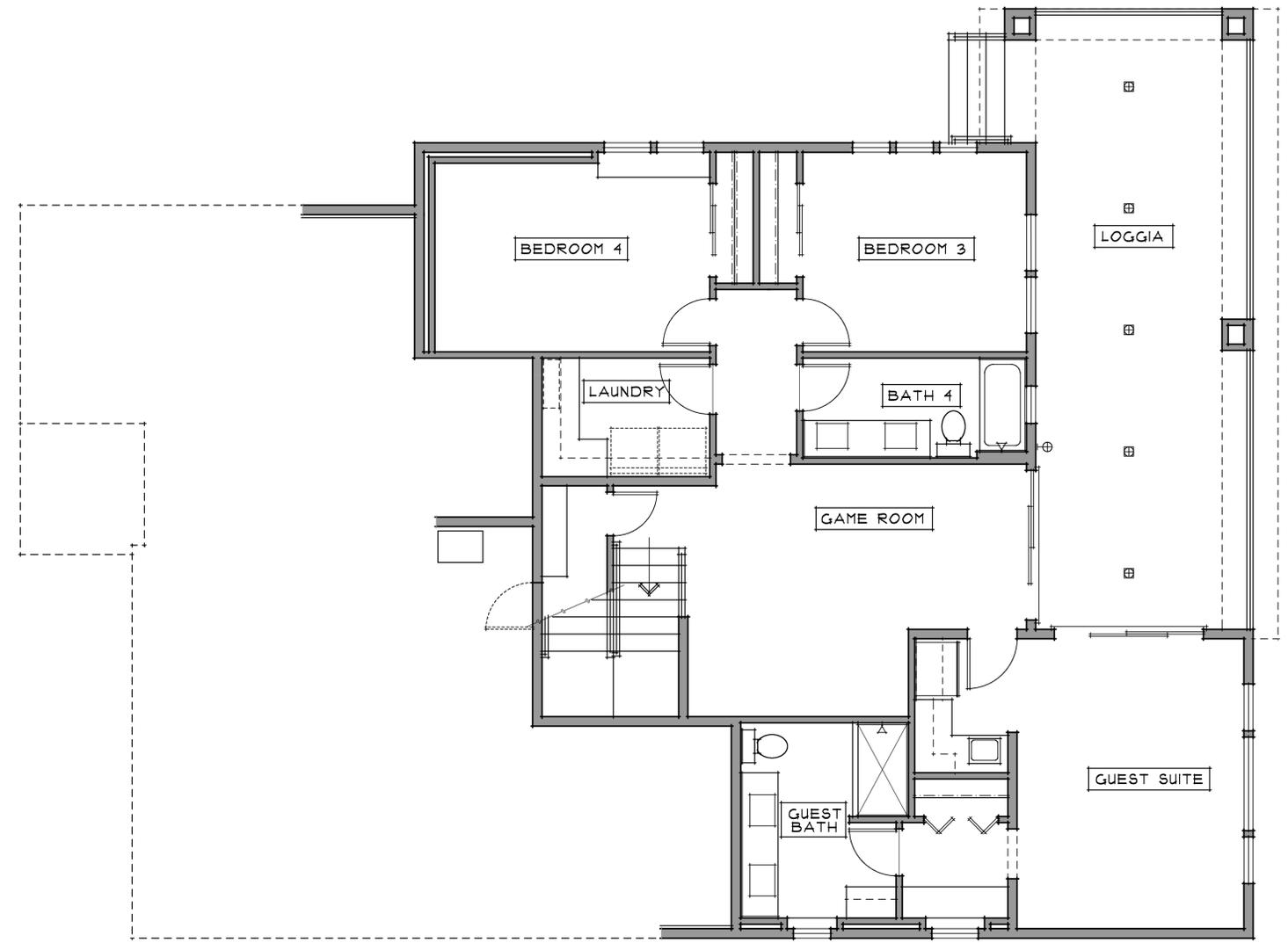
NOTE: METAL RAILING SHALL BE PAINTED BLACK

(A) METAL GUARDRAIL
SCALE: 1 = 1'-0"

ELECTRICAL SYMBOLS

- ⊞ 4" RECESSED LED LIGHT (40 LUMENS/WATT OR BETTER)
- ⊕ WALL MOUNTED LED LIGHT FIXTURE





ELECTRICAL SYMBOLS	
⊞	4" RECESSED LED LIGHT (40 LUMENS/WATT OR BETTER)
⊞+	WALL MOUNTED LED LIGHT FIXTURE

RESIDENTIAL VISITABILITY - PMC 11.4.60:

THE REQUIREMENTS SHALL APPLY TO NEW DWELLING UNITS WITHIN A BUILDING WITH FOUR (4) OR FEWER DWELLING UNITS...

11.4.040 VISITABLE DWELLINGS:

VISITABLE DWELLINGS SHALL BE CONSTRUCTED TO INCLUDE ALL THE FOLLOWING:

- A. AN ACCESSIBLE PRIMARY ENTRANCE IN ACCORDANCE WITH SECTION 11.4.080. B. AN ACCESSIBLE INTERIOR ROUTE IN ACCORDANCE WITH SECTION 11.4.090. C. AN ACCESSIBLE COMMON ROOM IN ACCORDANCE WITH SECTION 11.4.100.

11.4.080 ACCESSIBLE PRIMARY ENTRANCES:

A. VISITABLE DWELLING UNITS AND UNIVERSAL DESIGN UNITS SHALL ALL INCLUDE AN ACCESSIBLE PRIMARY ENTRANCE IN ACCORDANCE WITH SUBSECTION B. BELOW.

- 1. AN EXTERIOR ACCESSIBLE ROUTE THAT IS EITHER: A. CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA; OR B. NOT LESS THAN FORTY (40) INCHES (40) WIDE AND WITH A SLOPE NO GREATER THAN ONE (1) UNIT VERTICAL IN TWENTY (20) UNITS HORIZONTAL.

2. AN ACCESSIBLE PRIMARY ENTRANCE THAT IS CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA.

- 3. A FLOOR OR LANDING AT AND ON THE EXTERIOR AND INTERIOR SIDE OF THE ACCESSIBLE PRIMARY ENTRANCE DOOR THAT IS EITHER OF THE FOLLOWING: A. CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA; OR B. HAVING A LEVEL AREA ON THE SIDE OF THE ACCESSIBLE ENTRANCE DOOR SWINGS EXTENDING TWENTY-FOUR (24) INCHES (24) PAST THE STRIKE EDGE OF THE DOOR.

4. AN EXTERIOR ACCESSIBLE ENTRY DOOR THAT IS EITHER: A. CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA; OR B. HAVING A THIRTY-FOUR (34) INCH (34) NET CLEAR OPENING.

- 5. A SECOND EXTERIOR DOOR THAT IS INSTALLED SO THAT IT IS ACCESSIBLE AS PROVIDED IN THIS SECTION 11.4.080 WITH A THIRTY-TWO (32) INCH (32) NET CLEAR OPENING.

6. WHERE AT LEAST ONE EYEHOLES IS PROVIDED IN THE ACCESSIBLE ENTRY DOOR, ONE SHALL BE AT A STANDARD HEIGHT AND SECOND ONE BE FORTY-TWO (42) INCHES (42) AND FORTY-FOUR (44) INCHES (44) FROM THE FINISHED FLOOR.

- 7. WHERE AT LEAST ONE DOORBELL IS PROVIDED FOR THE ACCESSIBLE ENTRY DOOR, ONE SHALL BE PROVIDED THAT IS BETWEEN FORTY-TWO (42) INCHES (42) AND FORTY-EIGHT (48) INCHES (48) FROM THE FINISHED FLOOR MUST BE OFFERED.

11.4.090 ACCESSIBLE INTERIOR ROUTES:

A. VISITABLE DWELLING UNITS AND UNIVERSAL DESIGN UNITS SHALL ALL INCLUDE ACCESSIBLE INTERIOR ROUTES IN ACCORDANCE WITH SUBSECTION B. BELOW.

- 1. THERE SHALL BE AT LEAST ONE ACCESSIBLE INTERIOR ROUTE THROUGH THE HALLWAY(S), CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA, FROM THE ACCESSIBLE PRIMARY ENTRANCE OF THE DWELLING UNIT TO A POWDER ROOM OR BATHROOM, COMMON USE ROOM, AND THE KITCHEN.

2. ACCESSIBLE INTERIOR ROUTES SHALL HAVE A MINIMUM WIDTH OF FORTY-TWO (42) INCHES (42), EXCEPT THAT A THIRTY-NINE (39) INCH (39) HALLWAY WIDTH IS PERMITTED WHEN ALL DOORS LEADING TO ANY BATHROOM OR POWDER ROOM, IF ON THE PRIMARY ENTRY LEVEL, HAVE AN ACCESSIBLE MINIMUM CLEAR DOOR OPENING OF THIRTY-FOUR (34) INCHES (34), AND A THIRTY-SIX (36) INCH (36) HALLWAY IS PERMITTED WHEN ALL DOORS LEADING TO ANY BATHROOM OR POWDER ROOM, IF ON THE PRIMARY ENTRY LEVEL, HAVE A MINIMUM CLEAR DOOR OPENING OF THIRTY-SIX (36) INCHES (36).

- 3. ON ACCESSIBLE INTERIOR ROUTES, NO SUNKEN OR RAISED AREAS ARE PERMITTED BETWEEN THE PRIMARY ENTRY AND BATHROOM OR POWDER ROOM, THE ACCESSIBLE COMMON USE ROOM, THE ACCESSIBLE BEDROOM, AND THE ACCESSIBLE KITCHEN, AND 4. HANDRAIL REINFORCEMENT MUST BE INSTALLED ON ONE OR BOTH SIDES OF ACCESSIBLE INTERIOR ROUTES.

11.4.100 ACCESSIBLE COMMON USE ROOMS:

A. VISITABLE DWELLING UNITS AND UNIVERSAL DESIGN UNITS SHALL ALL INCLUDE AN ACCESSIBLE COMMON USE ROOM IN ACCORDANCE WITH SUBSECTION B. BELOW.

- 1. BE LOCATED ON ACCESSIBLE INTERIOR ROUTES. 2. NOT HAVE SUNKEN AREAS. 3. CONSTRUCTION SHALL BE CONSISTENT WITH STANDARDS RELATED TO ACCESSIBLE PATH TO ANY OTHER COMMON AREA ROOM ON THE PRIMARY ENTRY LEVEL.

11.4.110 ACCESSIBLE PRIMARY FLOOR POWDER ROOMS/BATHROOMS:

A. VISITABLE DWELLING UNITS AND UNIVERSAL DESIGN UNITS SHALL ALL INCLUDE AN ACCESSIBLE PRIMARY FLOOR POWDER ROOM/BATHROOM IN ACCORDANCE WITH SUBSECTION B. BELOW.

- 1. BE ON THE SAME LEVEL OF THE RESIDENTIAL UNIT AS A PRIMARY ACCESSIBLE ENTRY OF THE RESIDENTIAL UNIT THAT COMPLIES WITH THE REQUIREMENTS OF CBSC CHAPTER IIA. 2. CONTAIN CLEAR SPACE THAT IS EITHER: A. CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA; OR B. OUTSIDE OF THE SWINGS OF THE DOOR AND EITHER A FORTY-EIGHT (48) INCH (48) DIAMETER CIRCLE, AT THE OPTION OF THE PURCHASER/OWNER.

3. CONTAIN A BATHTUB OR SHOWER THAT MEETS THE REQUIREMENTS OF ANSI A117.1. 4. INCLUDE GRAB BARS INSTALLED IN A MANNER CONSISTENT WITH CBSC CHAPTER IIA FOR THE TOILET, SHOWER/BATH, OR LAVATORY.

- 5. INCLUDE FAUCETS AND HANDLES NOT REQUIRING TIGHT GRASPING, FINCHING, OR TWISTING OF THE WRIST CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA. 6. INCLUDE ONLY TOILET INSTALLED CONSISTENT WITH CBSC CHAPTER IIA. 7. INCLUDE REMOVABLE CABINETS UNDER THE LAVATORY/SINK.

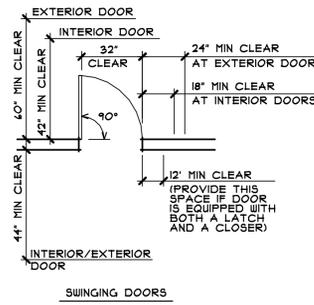
8. INCLUDE MIRRORS AND TOWEL FIXTURES IN THE ACCESSIBLE BATHROOM OR POWDER ROOM THAT ARE INSTALLED CONSISTENT WITH THE REQUIREMENTS OF CBSC CHAPTER IIA. 9. ACCESSIBLE BEDROOMS. A. UNIVERSAL DESIGN UNITS SHALL ALL INCLUDE AN ACCESSIBLE BEDROOM IN ACCORDANCE WITH SUBSECTION B. BELOW. B. ACCESSIBLE BEDROOMS SHALL: 1. BE ON AN ACCESSIBLE INTERIOR ROUTE OF TRAVEL. 2. CONTAIN AT LEAST ONE CLOSET THAT HAS AT LEAST A THIRTY-TWO (32) INCH (32) NET OPENING AND ADJUSTABLE CLOSET RODS AND SHELVING.

MANEUVERING CLEARANCES AT DOORS (11A-1132A.5):

- 1. THE FLOOR OR LANDING ON THE DWELLING UNIT SIDE OF THE PRIMARY ENTRY DOOR AND ANY REQUIRED EXIT DOOR SHALL HAVE A MINIMUM LENGTH OF NOT LESS THAN 44 INCHES (44) SECTION 1124.3 SHALL APPLY TO MANEUVERING CLEARANCES AT THE SIDE OF THE DOOR EXPOSED TO COMMON OR PUBLIC USE SPACES. (11A-1132A.5.1) 2. MANEUVERING CLEARANCES AT INTERIOR DOORS SHALL PROVIDE A MINIMUM LENGTH ON BOTH SIDES OF THE DOOR AT LEAST 42 INCHES MEASURED AT A RIGHT ANGLE TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. (11A-1132A.5.2) 3. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 18 INCHES PAST THE STRIKE EDGE FOR ALL DOORS. THE WIDTH OF THE LEVEL AREA AT THE EXTERIOR SIDE OF THE PRIMARY ENTRY DOOR AND ANY REQUIRED EXIT DOORS SHALL COMPLY WITH SECTION 1124.4. (11A-1132A.5.2)

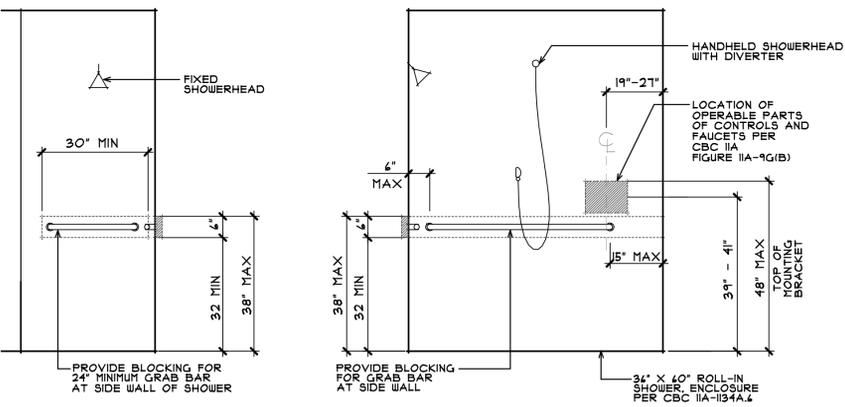
DOOR HARDWARE & OPERATION (11A-1132A.4 - 11A-1132A.10):

- 1. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING DOORS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ENFORCEMENT AGENCY, NOT TO EXCEED 15 POUNDS. (11A-1132A.4) 2. THE TYPE OF LATCH AND LOCK REQUIRED FOR ALL DOORS SHALL BE IN ACCORDANCE WITH CHAPTER 10, SECTION 1003.2.18. (11A-1132A.5) 3. HAND-ACTIVATED DOOR LATCHING, LOCKING AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR. (11A-1132A.8) 4. THE LEVER OR LEVER OF ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2" INCH OF THE DOOR TO PREVENT CATCHING OF THE CLOTHING OF PERSONS DURING EGRESS IN GROUP R AND U OCCUPANCIES WITH AN OCCUPANT LOAD GREATER THAN 10. (11A-1132A.8.1) 5. THE BOTTOM 10 INCHES OF ALL DOORS SHALL HAVE A SMOOTH SURFACE, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. (11A-1132A.8.2) 6. EVERY PRIMARY ENTRANCE TO A COVERED MULTIFAMILY DWELLING UNIT SHALL BE PROVIDED WITH A DOOR BUZZER BELL, CHIME OR EQUIVALENT. THE ACTIVATING MECHANISM SHALL BE MOUNTED A MAXIMUM OF 48 INCHES ABOVE THE FLOOR AND CONNECTED TO PERMANENT WIRING. (11A-1132A.10)



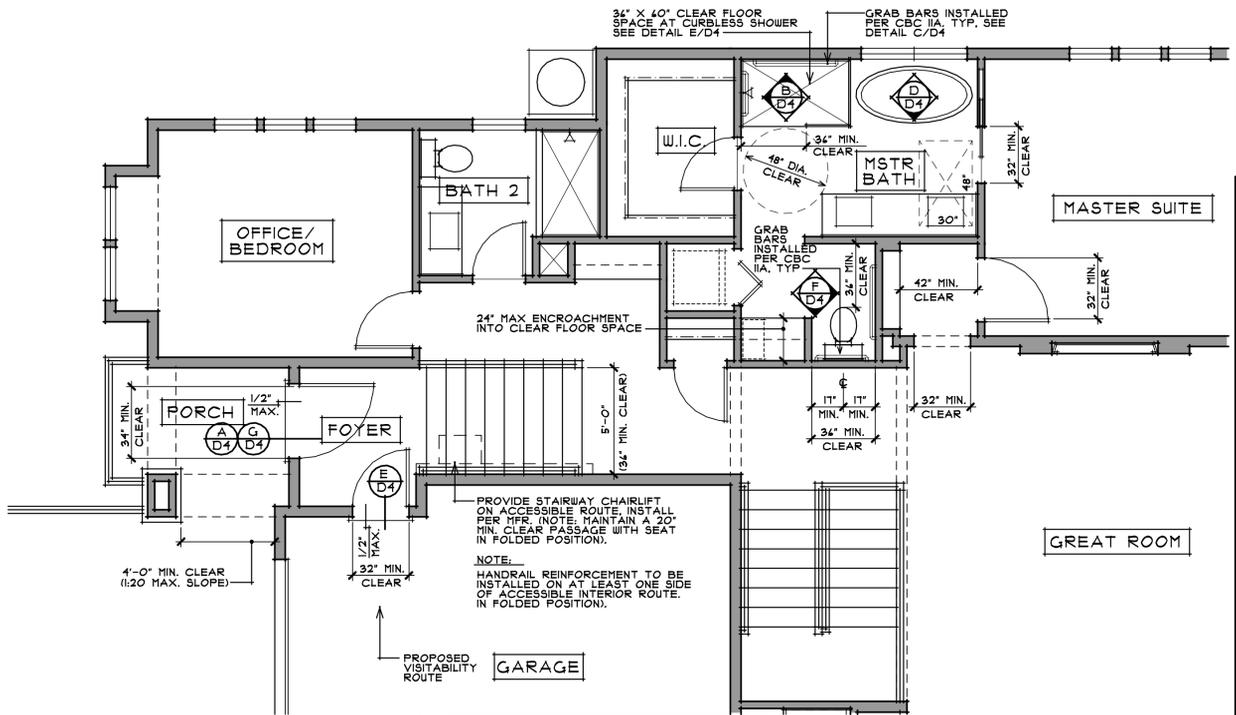
A. ADAPTABLE DOOR CLEARANCES & OPERATION

1/4" = 1'-0"



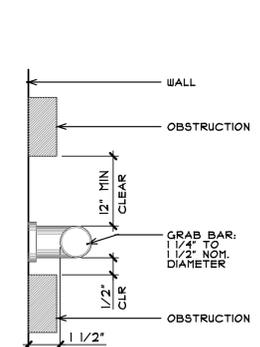
B. VISITABLE SHOWER

SCALE: 1/2" = 1'-0"

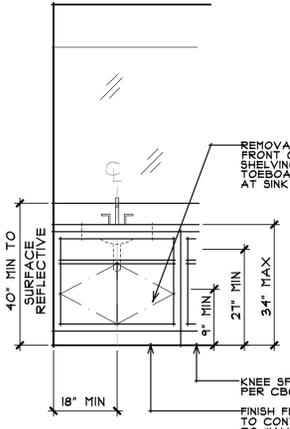


1 VISITABILITY PLAN

SCALE: 1/4" = 1'-0"

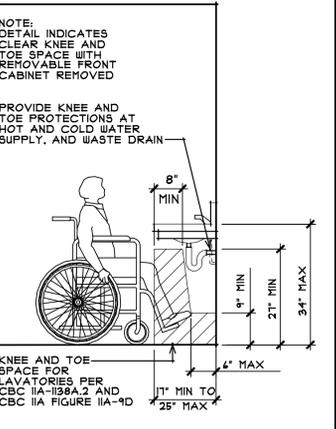


C. GRAB BAR CLEARANCES



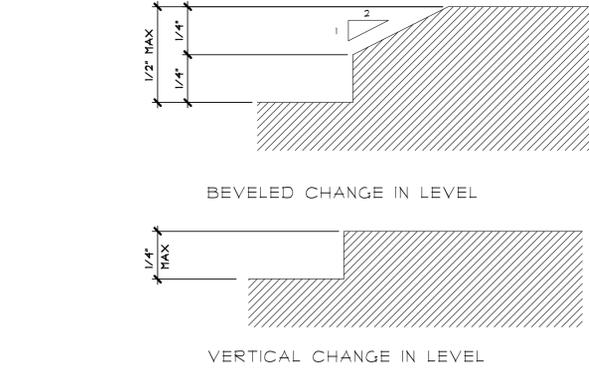
D. ADAPTABLE VANITY

SCALE: 1/2" = 1'-0"



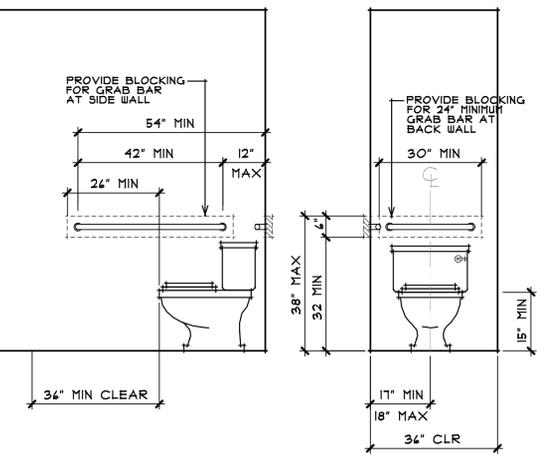
E. LEVEL CHANGES ALONG AN ACCESSIBLE ROUTE

NOT TO SCALE



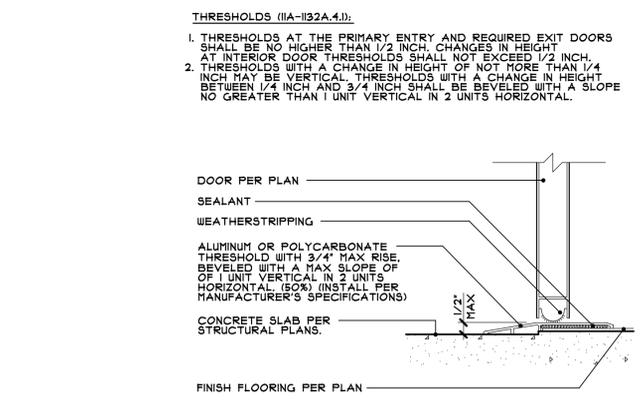
F. VISITABLE WATER CLOSET

NOT TO SCALE



G. ADAPTABLE THRESHOLD AT EXTERIOR DOORS

NOT TO SCALE



H. ADAPTABLE THRESHOLD AT EXTERIOR DOORS

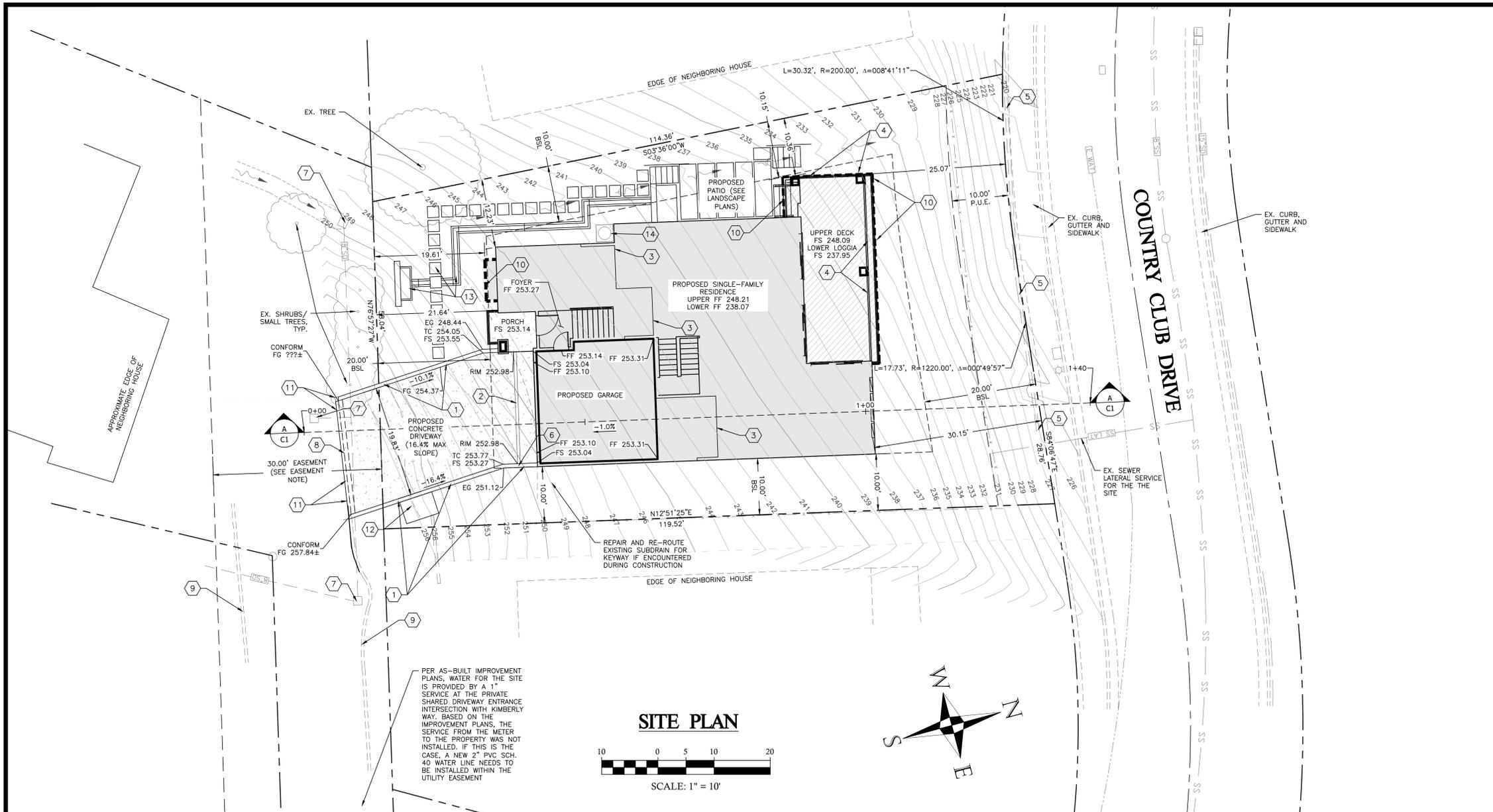
NOT TO SCALE

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FARRELL-FABER & ASSOCIATES IN C. ARCHITECTURE - PLANNING

BRIAN MALLISON and COURTNEY WAY 118 KIMBERLY WAY PETALUMA, CALIFORNIA

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LEGEND

- PORTLAND CEMENT CONCRETE PER STRUCTURAL PLANS. CONCRETE DRIVEWAY SHALL BE 5 INCHES THICK WITH #3 REBAR @ 18" O.C. EACH WAY AT THE CENTERLINE OF THE SLAB OVER 4" CLASS 2 AGG. BASE COMPACTED TO 95% R.C. OVER 6" SUBGRADE COMPACTED TO 95% R.C.
- PROPOSED BUILDING
- DECK PER ARCHITECT PLANS
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- RECORD BOUNDARY LINE
- SURFACE FLOWLINE
- GRADE BREAK
- BUILDING SETBACK LINE
- EXISTING FENCE

LOT COVERAGE DATA

- EXISTING BUILDING AREA: 0 SF
- PROPOSED BUILDING AREA (FOOTPRINT OF BUILDING, NOT LIVING AREA): 2344 SF
- GROSS LOT AREA: 7,766 SF
- EXISTING GROSS LOT COVERAGE: 0%
- PROPOSED GROSS LOT COVERAGE: 30%

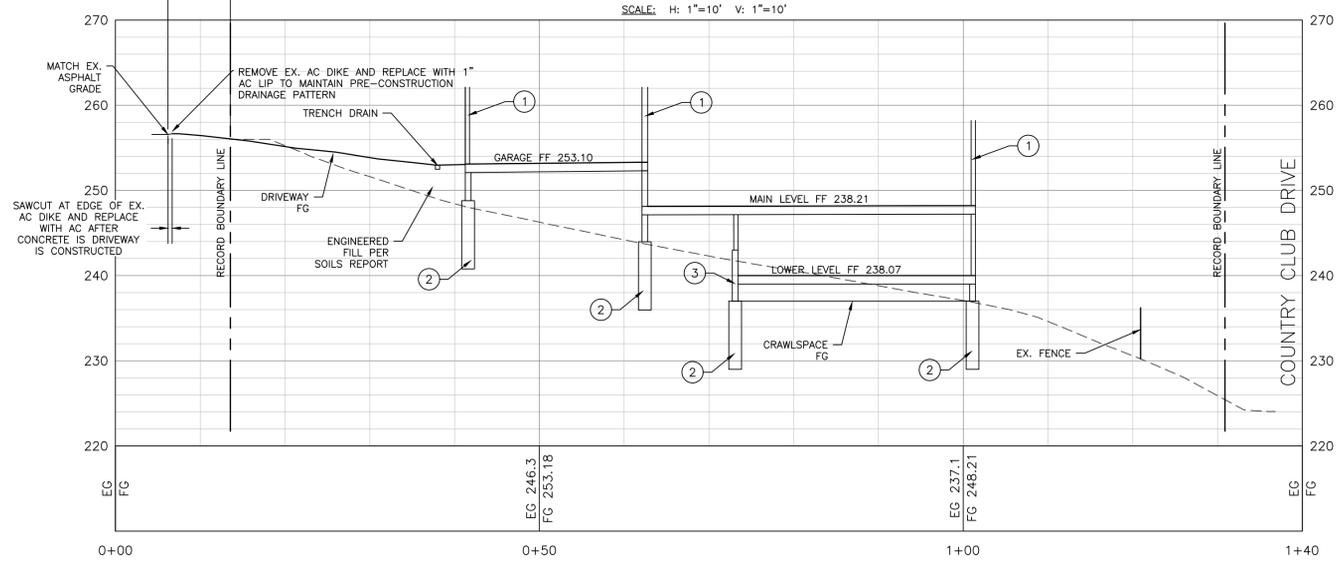
ABBREVIATIONS

- BSL BUILDING SETBACK
- BW BOTTOM OF WALL ELEVATION AT FINISH GRADE (NOT FOOTING ELEV.)
- EP EDGE OF PAVEMENT ELEVATION
- FF FINISH FLOOR OF BUILDING ELEVATION
- FG FINISH GRADE (LANDSCAPE OR DIRT) ELEVATION
- FL FLOWLINE OF SURFACE, GUTTER OR DITCH ELEVATION
- FS FINISH SURFACE (LANDSCAPE) ELEVATION
- HP HIGH POINT ELEVATION
- RIM TOP OF MANHOLE, DRAINAGE INLET, OR UTILITY BOX ELEVATION
- INV PIPE INVERT ELEVATION
- TC TOP OF CURB ELEVATION
- TSL TOP OF BIORETENTION SOIL LAYER ELEVATION
- TW TOP OF WALL ELEVATION

KEYNOTES

- 1 RETAINING WALL WITH 6" TALL CURB AND RAILING
- 2 ACO K200 TRENCH DRAIN
- 3 OUTLINE OF LOWER FLOOR LIMITS
- 4 OUTLINE OF LOWER LOGGIA
- 5 EXISTING RETAINING WALL
- 6 INSTALL 12" OPENING IN CURB WITH MAX ELEVATION 0.06' BELOW THE FINISH FLOOR OF THE GARAGE AT THE GARAGE DOOR TO ACT AS AN EMERGENCY OVERFLOW ROUTE
- 7 EX. STORM DRAIN INLET
- 8 1" CHAMFERED LIP FROM CONFORM TO FG AT NEW DRIVEWAY CONNECTION TO EX. SHARED PRIVATE DRIVEWAY
- 9 EX. CURB
- 10 CANTILEVERED OVERHANG
- 11 SAWCUT AT EDGE OF EX. ASPHALT DIKE AND REMOVE. ONCE CONCRETE IS CURED, REPLACE REMOVED ASPHALT WITH NEW ASPHALT AND BASE SECTION, 3" AC OVER 6" AGG. BASE
- 12 PROPOSED TRASH ENCLOSURE
- 13 PATHWAY AND WATER FEATURE, SEE LANDSCAPE ARCHITECT PLANS FOR DETAILS
- 14 HVAC CONDENSER

SECTION A PROFILE
SCALE: H: 1"=10' V: 1"=10'



LEGEND

- EXISTING GRADE PROFILE
- FINISH GRADE PROFILE
- RECORD BOUNDARY LINE
- FLOWLINE
- GRADE BREAK

KEYNOTES

- 1 EXTERIOR BUILDING WALLS, SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS FOR WALL HEIGHTS AND DETAILS
- 2 BUILDING FOOTING AND PIERS, SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL PLANS FOR FOOTING DEPTHS, DIMENSIONS, AND DETAILS
- 3 RETAINING WALL PER STRUCTURAL PLANS

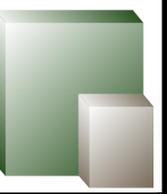
EASEMENT NOTE

1. EASEMENT INFORMATION WAS OBTAINED BY THE MAP ENTITLED: COUNTRY CLUB ESTATES UNIT 2A AND 3A, PHASE 3, FILED DECEMBER 9, 1997, IN BOOK 570 OF MAPS AT PAGE 43, SONOMA COUNTY RECORDS.
2. THE 30 FOOT WIDE EASEMENT SHOWN IS FOR: PRIVATE WATER LINE, PRIVATE STORM DRAIN, PRIVATE ACCESS, PRIVATE SANITARY SEWER, AND PUBLIC UTILITIES.

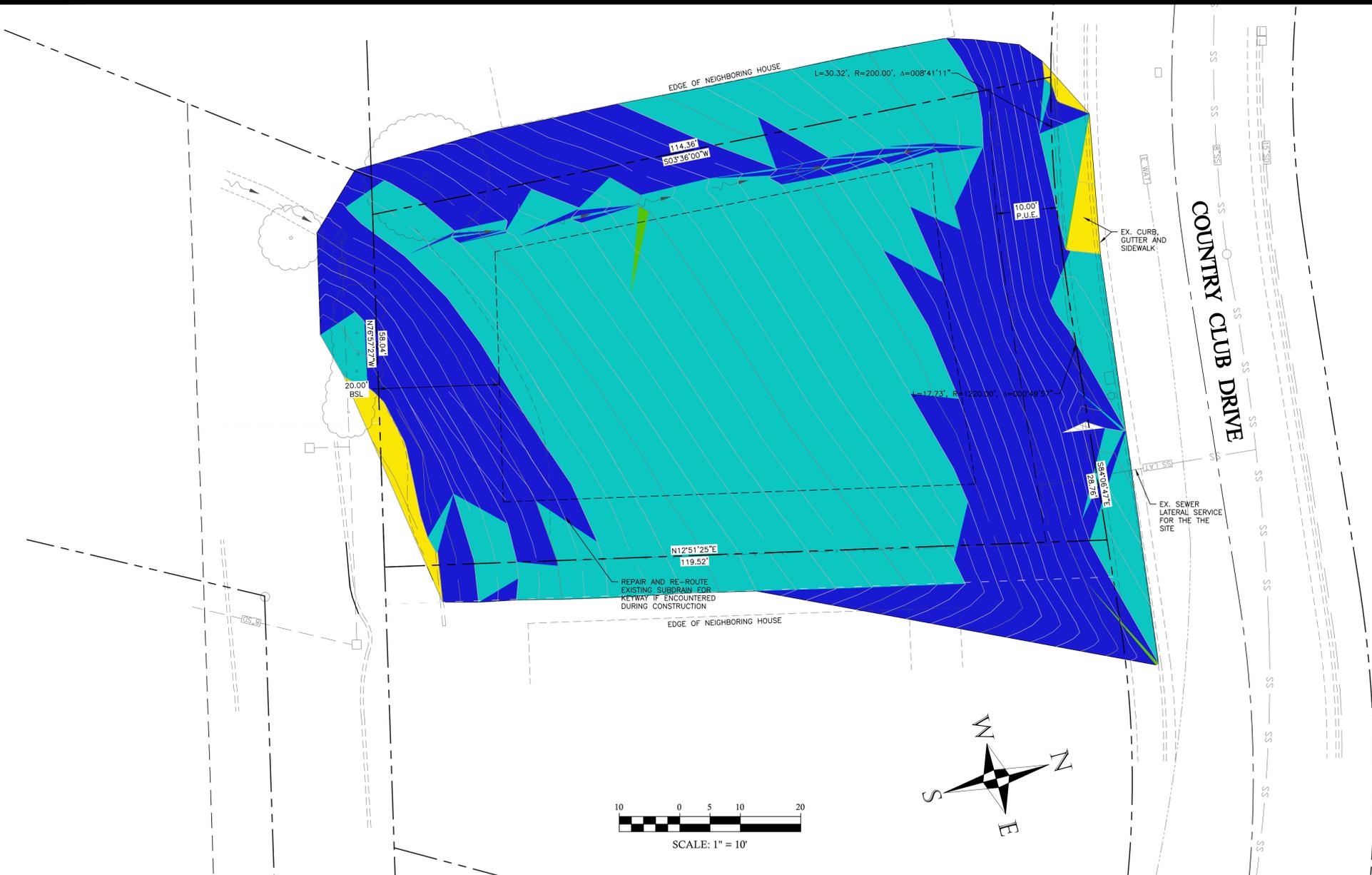


REV.	DATE	DESCRIPTION

CORNERSTONE CIVIL DESIGN
CIVIL ENGINEERING LAND PLANNING PROJECT MANAGEMENT
1491 GAMAY PLACE URBANA, CA 94682
970 972-7147 CORNERSTONECIVILDESIGN@GMAIL.COM



MALLISON AND WAY RESIDENCE
SITE PLAN AND SECTION
118 KIMBERLY WAY PETALUMA, CA
APN 008-630-043



NOTES

1. THE SITE AND SLOPE HAVE BEEN INVESTIGATED BY MILLER PACIFIC ENGINEERING GROUP AND THERE IS NO MENTION OF LANDSLIDE HAZARDS IN THEIR REPORT DATED JULY 16, 2018.

SLOPE TABLE				
RANGE	MIN. SLOPE	MAX. SLOPE	AREA (SF)	COLOR
1	0.00%	10.00%	201	Yellow
2	10.01%	15.00%	19	Light Green
3	15.01%	30.00%	6289	Dark Green
4	30.01%	100.00%	4213	Blue

CONSTRAINTS

1. THE SITE IS STEEP WITH THE MAJORITY OF THE SITE OVER 15% AND WITH SOME PORTIONS OF THE BUILDING AREA OVER 30%.
2. THERE IS AN EXISTING WOOD RETAINING WALL ON THE NORTHWEST EDGE OF THE SITE.
3. THERE IS AN EXISTING SUBDRAIN THAT RUNS ACROSS THE SITE THAT SHOULD BE ACCOUNTED FOR DURING CONSTRUCTION.
4. THERE IS AN EXISTING 10 FOOT P.U.E. THAT RUNS ALONG THE NORTH SIDE OF THE LOT.

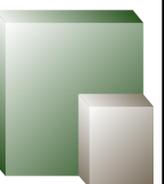
OPPORTUNITIES

1. THE DRIVEWAY COMES FROM THE SOUTH OF THE SITE WHICH RESULTS IN THE GARAGE BEING ELEVATED AND DOES NOT REQUIRE AS MUCH EARTHWORK AS CUTTING INTO THE HILLSIDE AS WOULD BE REQUIRED IF THE DRIVEWAY CONNECTED TO COUNTRY CLUB DRIVE.
2. THE HOUSE IS DESIGNED TO MINIMIZE EARTHWORK BY STEPPING DOWN WITH THE TOPOGRAPHY.



REV.	DATE	DESCRIPTION

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MALLISON AND WAY RESIDENCE
OPPORTUNITIES AND CONSTRAINTS MAP
 118 KIMBERLY WAY PETALUMA, CA
 APN 008-630-043

DATE: 10/17/2023
 JOB #: 2322

SHEET
C3
 OF 3 SHEETS

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	QTY.	WUCOLS	MATURE SIZE (HxW)
TREES					
ACER P. 'CRIMSON QUEEN'	'CRIMSON QUEEN' JAPANESE MAPLE	24" BOX	--	M	6'x8'
ACER P. 'TAMUKEYAMA'	'TAMUKEYAMA' JAPANESE MAPLE	24" BOX	--	M	6'x8'
QUERCUS AGRIFOLIA	COAST LIVE OAK	15G	4	VL	30'x30'
SHRUBS					
AGAVE AMERICANA	CENTURY PLANT	5G	--	VL	6'x6'
AGAVE 'BLUE GLOW'	'BLUE GLOW' AGAVE	5G	--	L	2'x2'
ASPARAGUS D. 'MEYERS'	ASPARAGUS FERN	5G	--	M	4'x4'
CEANOTHUS SPP.	CALIFORNIA LILAC	15G	--	L	8'x8'
CHONDROPETALUM TECTORUM	CAPE RUSH	5G	--	L	4'x4'
HYDRANGEA SPP.	HYDRANGEA	5G	--	M	5'x5'
LAVANDULA 'GROSSO'	'GROSSO' LAVENDER	5G	--	L	3'x3'
PHORMIUM 'BLACK ADDER'	'BLACK ADDER' FLAX	5G	--	L	4'x3'
POLYSTICHUM MUNIUM	WESTERN SWORD FERN	5G	--	M	4'x5'
RHAMNUS CALIFORNICA	COFFEEBERRY	15G	--	L	8'x8'
YUCCA 'BRIGHT EDGE'	'BRIGHT EDGE' YUCCA	5G	--	L	4'x4'
GROUNDCOVERS & PERENNIALS					
ECHEVERIA 'AFTERGLOW'	'AFTERGLOW' ECHEVERIA	1G	--	L	2'x2'
ECHEVERIA 'BLUE ATOLL'	'BLUE ATOLL' ECHEVERIA	1G	--	L	6'x8"
ECHEVERIA COLORATA	HEN'S AND CHICKS	1G	--	L	8'x8"
FESTUCA 'ELIJAH BLUE'	'ELIJAH BLUE' FESCUE	1G	--	VL	1'x1'
SEDUM 'ANGELINA'	'ANGELINA' STONE CROP	1G	--	L	6'x3'
SEDUM 'DAZZLEBERRY'	'DAZZLEBERRY' STONECROP	1G	--	L	6'x18"
SEDUM 'LEMON BALL'	'LEMON BALL' STONECROP	1G	--	L	6'x3'
VINES					
BOUGAINVILLEA 'SAN DIEGO RED'	'SAN DIEGO RED' BOUGAINVILLEA	15G	--	L	GROW ON STEEL CABLE TRELLIS
COUNTRY CLUB DRIVE STREETSCAPE					
ARCTOSTAPHYLOS SPP.	MANZANITA	15G	--	L	8'x8"
CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	5G	--	L	2'x8"
FESTUCA 'ELIJAH BLUE'	'ELIJAH BLUE' FESCUE	1G	--	VL	1'x1'
MONARDELLA VILLOSA	COYOTE MINT	1G	--	L	2'x2'

WATER BUDGET CALCULATIONS

$$\begin{aligned}
 \text{MAWA} &= [\text{ET}_o] (0.62) \{ [\text{ETAF} \times \text{LA}] + [(1 - \text{ETAF}) \times \text{SLA}] \} \\
 &= [39.6] (0.62) \{ [0.55 \times 1,757] + [(1 - 0.55) \times 0] \} \\
 &= 23,726 \text{ GAL/YEAR} \\
 \\
 \text{ETWU} &= \text{ET}_o \times 0.62 \times \text{ETAF} \times \text{AREA} \\
 \text{LOW} &= 39.6 \times 0.62 \times (0.3/81) \times 1,494 = 13,586 \text{ GAL} \\
 \text{MOD} &= 39.6 \times 0.62 \times (0.4/81) \times 263 = 3,186 \text{ GAL} \\
 &= 16,772 \text{ GAL/YEAR}
 \end{aligned}$$

IRRIGATION CONCEPT STATEMENT

A NEW IRRIGATION SYSTEM SHALL BE INSTALLED AS PART OF THIS PROJECT. COMPONENTS SHALL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER CAPABLE OF ADJUSTING RUN TIMES BASED ON LOCAL WEATHER CONDITIONS, DRIP IRRIGATION FOR ALL PROPOSED PLANTINGS, TREES HAVING SEPARATE IRRIGATION VALVES THAN OTHER LANDSCAPE, IRRIGATION HYDROZONES WHICH GROUP PLANTS BY WATER NEEDS, AND OTHER COMPONENTS TO PROVIDE WATER USE EFFICIENCY.

GRAVEL PATH & TIMBER STEPS CONCEPT



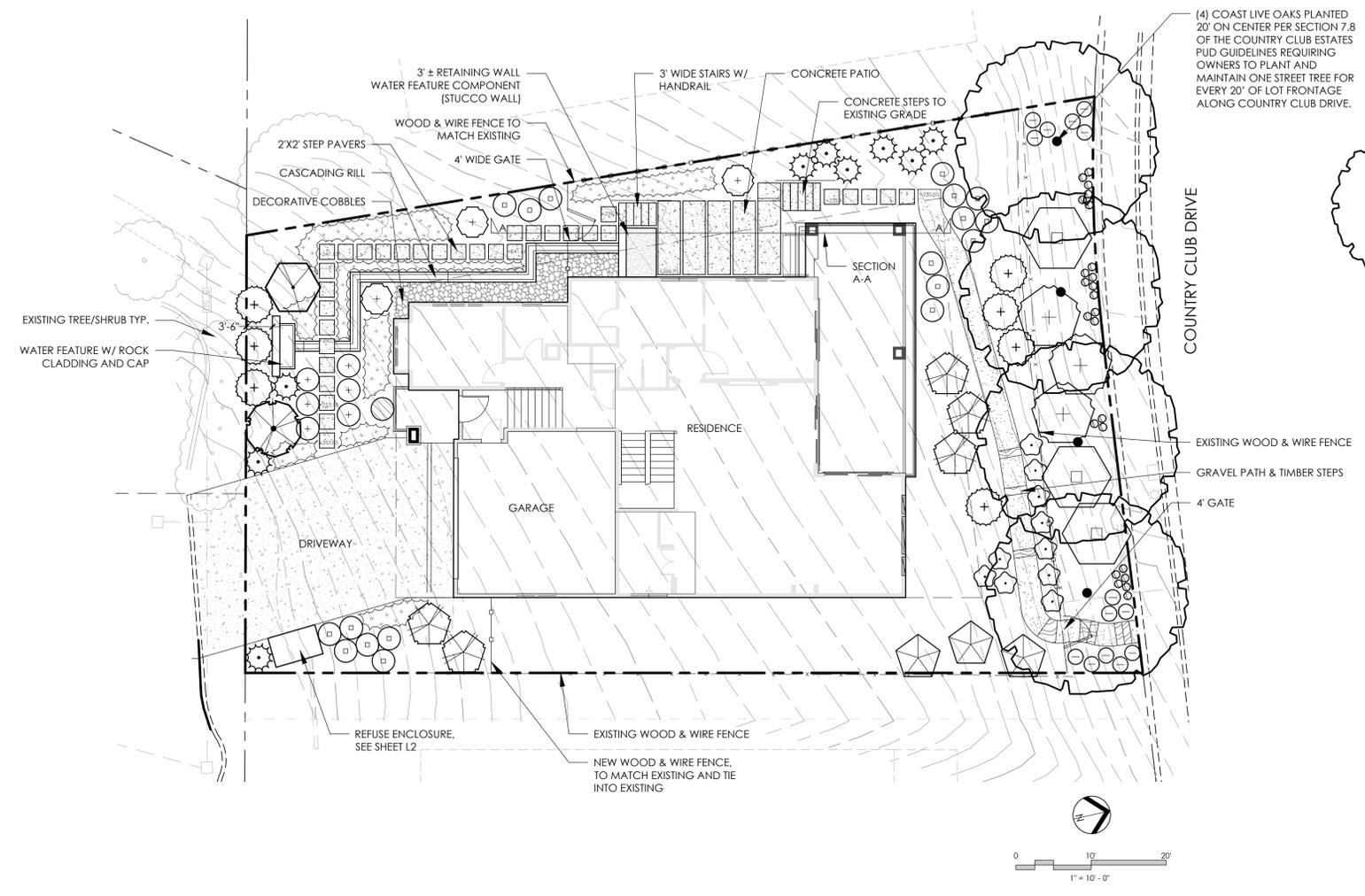
CONCRETE STEP PAVERS & PATIO



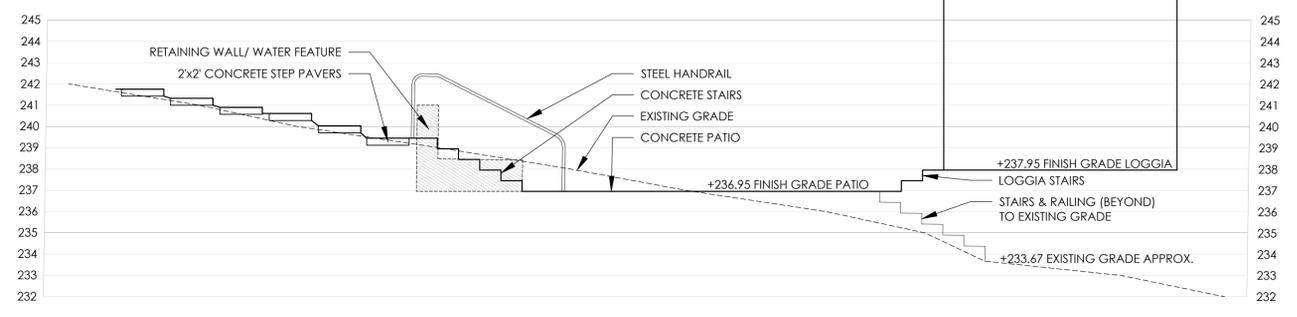
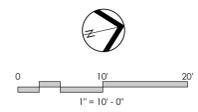
WATER FEATURE CONCEPT



DECORATIVE COBBLES



(4) COAST LIVE OAKS PLANTED 20' ON CENTER PER SECTION 7.8 OF THE COUNTRY CLUB ESTATES PUD GUIDELINES REQUIRING OWNERS TO PLANT AND MAINTAIN ONE STREET TREE FOR EVERY 20' OF LOT FRONTAGE ALONG COUNTRY CLUB DRIVE.



A-A PATIO SECTION

SCALE: 1/4" = 1'-0"

