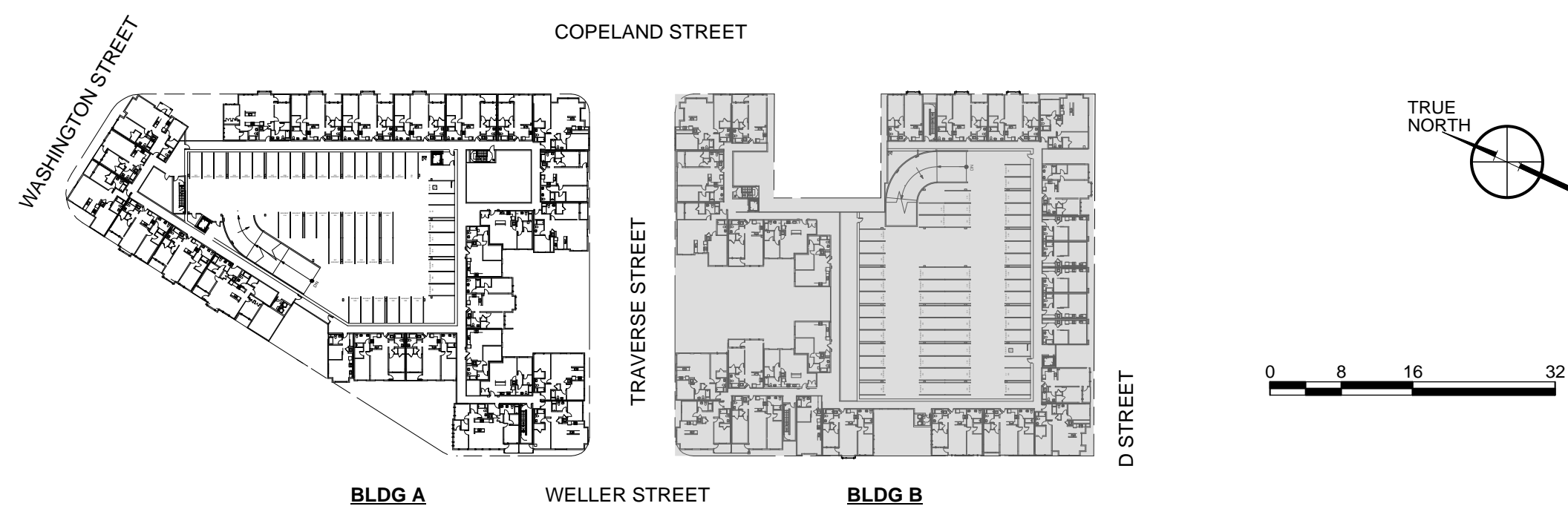
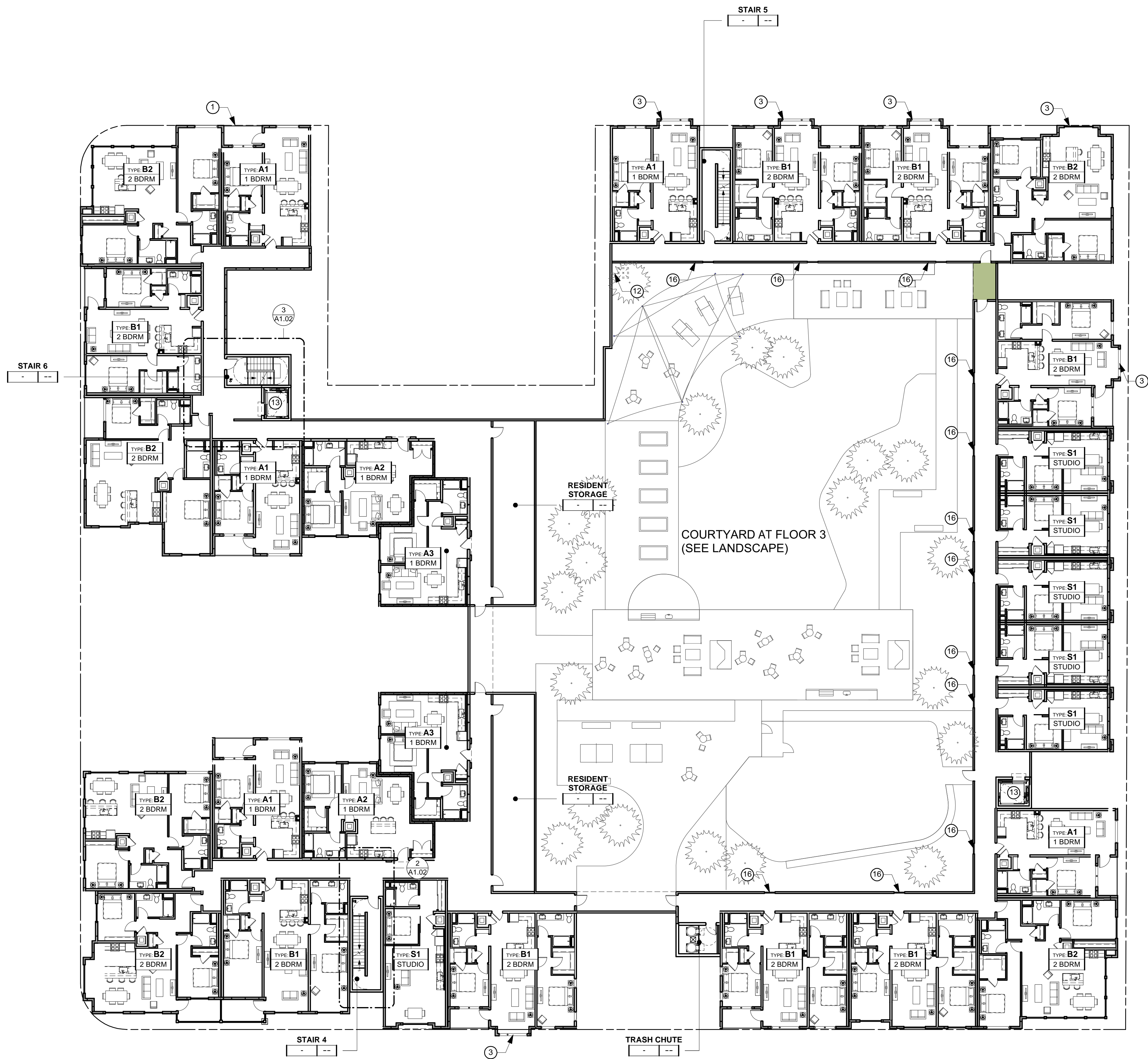
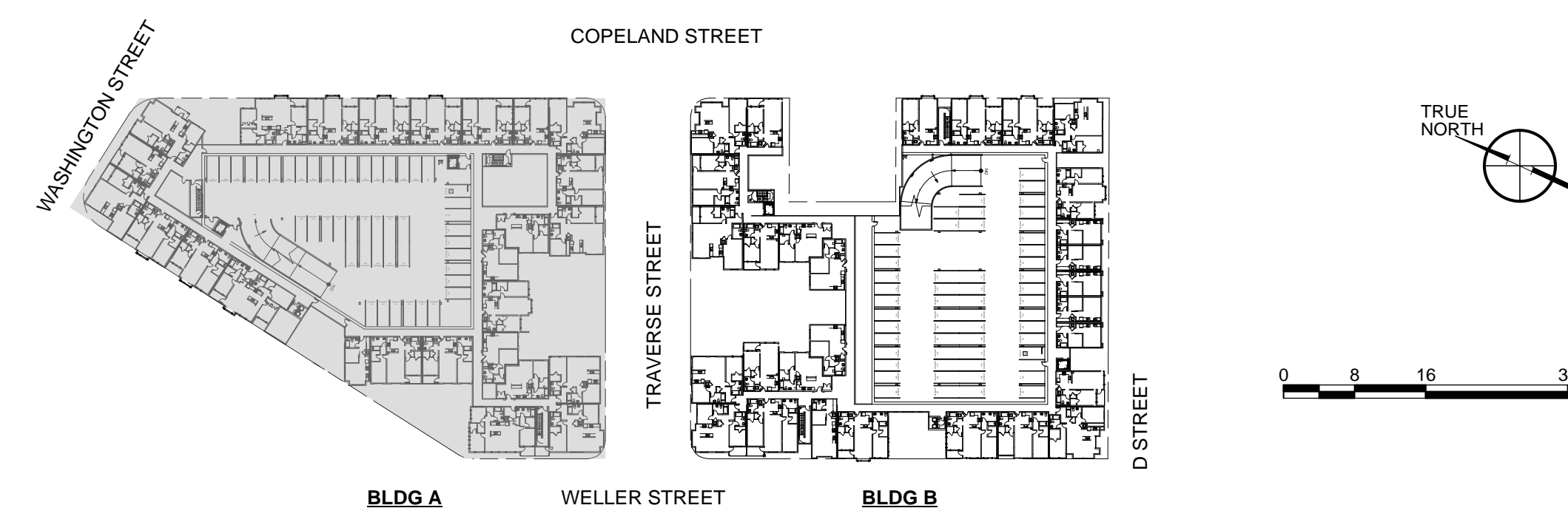


- SHEET NOTES**
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1 PROPERTY LINE/ SIDEWALK EASEMENT LINE
 - 2 CONCRETE CURB & SIDEWALK, S.C.D.
 - 3 BAY WINDOW, 2'-0" DEPTH TYP.
 - 4 GAS METERS
 - 5 OVERHEAD COILING GARAGE GATE:
SEE THRU GRILL FOR FRESH AIR
 - 6 TRANSFORMER
 - 7 CONDENSING UNITS
 - 8 PARKING SPACE, TYP, 8.5x18'
 - 9 DISABLED ACCESSIBLE PARKING SPACE, 9x18'
 - 10 METAL OR CLOTH AWNING, 4'-0" DEPTH TYP.
 - 11 LINE OF BUILDING ABOVE
 - 12 MECH. VENTILATED GARAGE SHAFT
 - 13 ELEVATOR, GURNEY ACCESSIBLE, CBC COMPLIANT
 - 14 STAIR ACCESS
 - 15 FENCE AND SECURITY GATE
 - 16 WINDOW
 - 17 PARAPET
 - 18 SLOPED ROOFS 6"/FT MAX SLOPE, 30-YR COMP. SHINGLE
 - 19 STAIR PENTHOUSE
 - 20 DECK
 - 21 STOOP
 - 22 BUILT UP ROOF 3/8"/FT SLOPE, TYP.
 - 23 GALLERY, 8'-0" MIN. DEPTH, 11'-0" MIN HEIGHT, 2'-0" FROM BACK OF CURB, GALLERY ROOF NON-OCCUPIED
 - 24 PROVIDE RESTAURANT INFRATRUCTURE AT PROJECT OWNER DISCRETION/PROGRAM INCLUDING BUT NOT LIMITED TO: DEPRESSED SLAB @ BACK OF HOUSE, RTD EXHAUST SHAFT TO ROOF, GGAS CONNECTION, GREASE TRAP LOCATION TBD.



ISSUE	DATE
SPAR SUBMIT	7.28.17
SPAR RESUBMIT 1	6.11.18
SPAR RESUBMIT 2	11.05.18
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(24) PROVIDE RESTAURANT INFRASTRUCTURE AT PROJECT OWNER DISCRETION/PROGRAM INCLUDING BUT NOT LIMITED TO: DEPRESSED SLAB @ BACK OF HOUSE, RTD EXHAUST SHAFT TO ROOF, GGAS CONNECTION, GREASE TRAP LOCATION TBD.



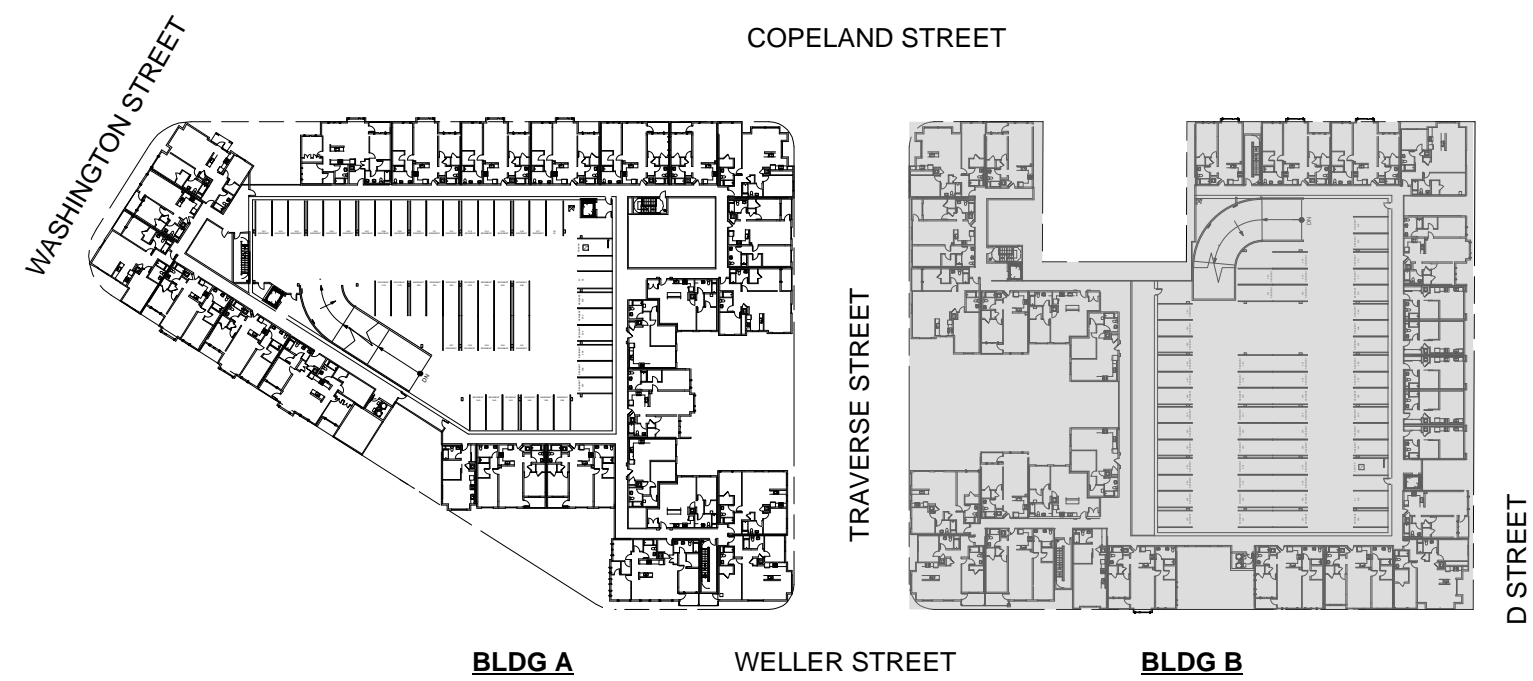
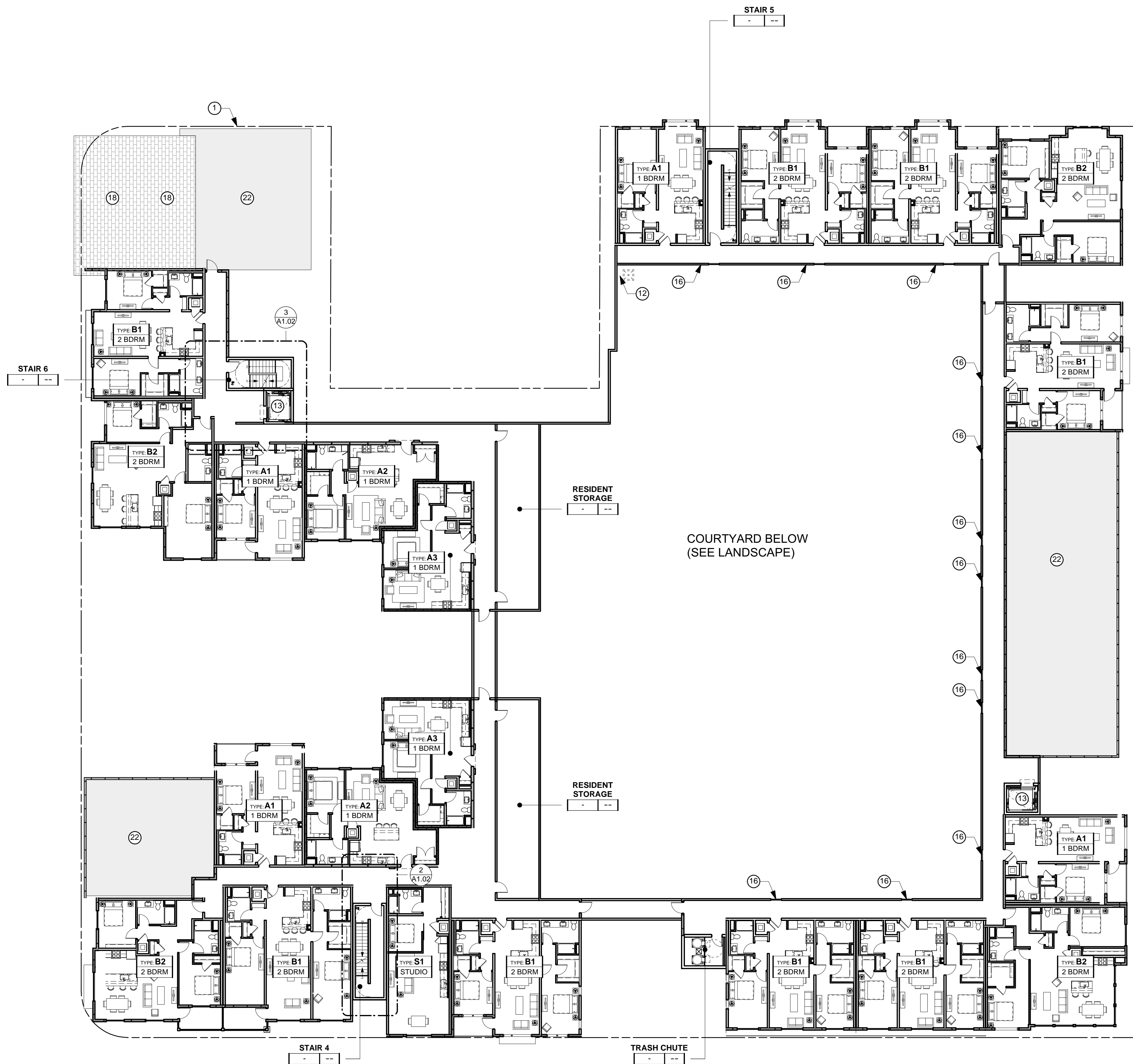
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SPAR SUBMIT	7.28.17
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SPAR RESUBMIT 2	11.05.18
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BUILDING B
PLAN
FLOOR 04

SHEET TITLE
SCALE 1/16"=1'
PROJECT NO. 1618 DRAWN BY NS
SHEET SIZE: 30" x 42"

- SHEET NOTES**
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- PROPERTY LINE/ SIDEWALK EASEMENT LINE
 - CONCRETE CURB & SIDEWALK, S.C.D.
 - BAY WINDOW, 2'-0" DEPTH TYP.
 - GAS METERS
 - OVERHEAD COILING GARAGE GATE:
SEE THRU GRILL FOR FRESH AIR
 - TRANSFORMER
 - CONDENSING UNITS
 - PARKING SPACE, TYP, 8.5x18'
 - DISABLED ACCESSIBLE PARKING SPACE, 9x18'
 - METAL OR CLOTH AWNING, 4'-0" DEPTH TYP.
 - LINE OF BUILDING ABOVE
 - MECH. VENTILATED GARAGE SHAFT
 - ELEVATOR, GURNEY ACCESSIBLE, CBC COMPLIANT
 - STAIR ACCESS
 - FENCE AND SECURITY GATE
 - WINDOW
 - PARAPET
 - SLOPED ROOFS 6"/FT MAX SLOPE, 30-YR COMP.
SHINGLE
 - STAIR PENTHOUSE
 - DECK
 - STOOP
 - BUILT UP ROOF 3/8"/FT SLOPE, TYP.
 - GALLERY, 8'-0" MIN. DEPTH, 11'-0" MIN HEIGHT, 2'-0"
FROM BACK OF CURB, GALLERY ROOF
NON-OCCUPIED
 - PROVIDE RESTAURANT INFRASTRUCTURE AT
PROJECT OWNER DISCRETION/PROGRAM INCLUDING
BUT NOT LIMITED TO: DEPRESSED SLAB @ BACK OF
HOUSE, RTD EXHAUST SHAFT TO ROOF, GGAS
CONNECTION, GREASE TRAP LOCATION TBD.



SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 1 PROPERTY LINE/ SIDEWALK EASEMENT LINE
- 2 CONCRETE CURB & SIDEWALK, S.C.D.
- 3 BAY WINDOW, 2'-0" DEPTH TYP.
- 4 GAS METERS
- 5 OVERHEAD COILING GARAGE GATE.
SEE THRU GRILL FOR FRESH AIR
- 6 TRANSFORMER
- 7 CONDENSING UNITS
- 8 PARKING SPACE, TYP. 8.5'x18'
- 9 DISABLED ACCESSIBLE PARKING SPACE, 9'x18'
- 10 METAL OR CLOTH AWNING, 4'-0" DEPTH TYP.
- 11 LINE OF BUILDING ABOVE
- 12 MECH. VENTILATED GARAGE SHAFT
- 13 ELEVATOR, GURNEY ACCESSIBLE, CBC COMPLIANT
- 14 STAIR ACCESS
- 15 FENCE AND SECURITY GATE
- 16 WINDOW
- 17 PARAPET
- 18 SLOPED ROOFS 6'/FT MAX SLOPE, 30-YR COMP. SHINGLE
- 19 STAIR PENTHOUSE
- 20 DECK
- 21 STOOP
- 22 BUILT UP ROOF 3/8"/FT SLOPE, TYP.
- 23 GALLERY, 8'-0" MIN. CUBH, 11'-0" MIN HEIGHT, 2'-0" FROM BACK OF CURB. GALLERY ROOF NON-OCCUPIED
- 24 PROVIDE RESTAURANT INFRASTRUCTURE AT PROJECT OWNER DISCRETION PROGRAM INCLUDING BUT NOT LIMITED TO: DEPRESSED SLAB @ BACK OF HOUSE INTO EXHAUST SHAFT TO ROOF. GAS CONNECTION, GREASE TRAP LOCATION TBD.

HAYSTACK
WASHINGTON & COPELAND
STREETS
PETALUMA, CA

[illegible]

STAMP

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**BUILDING A
PLAN
ROOF**

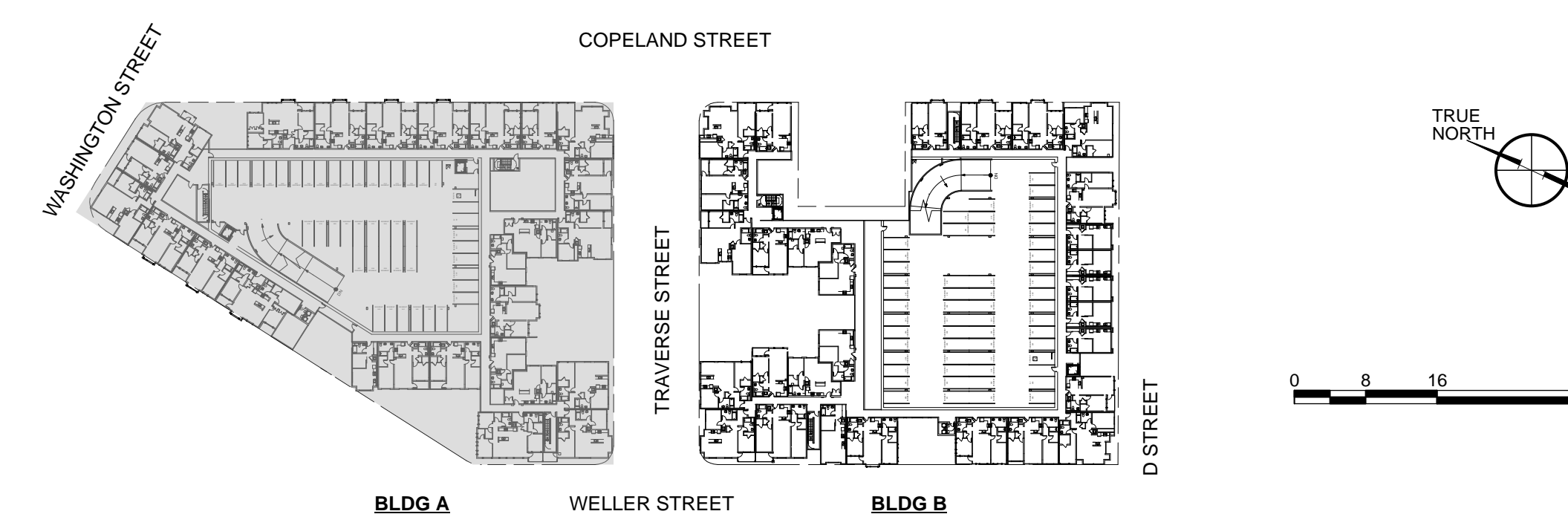
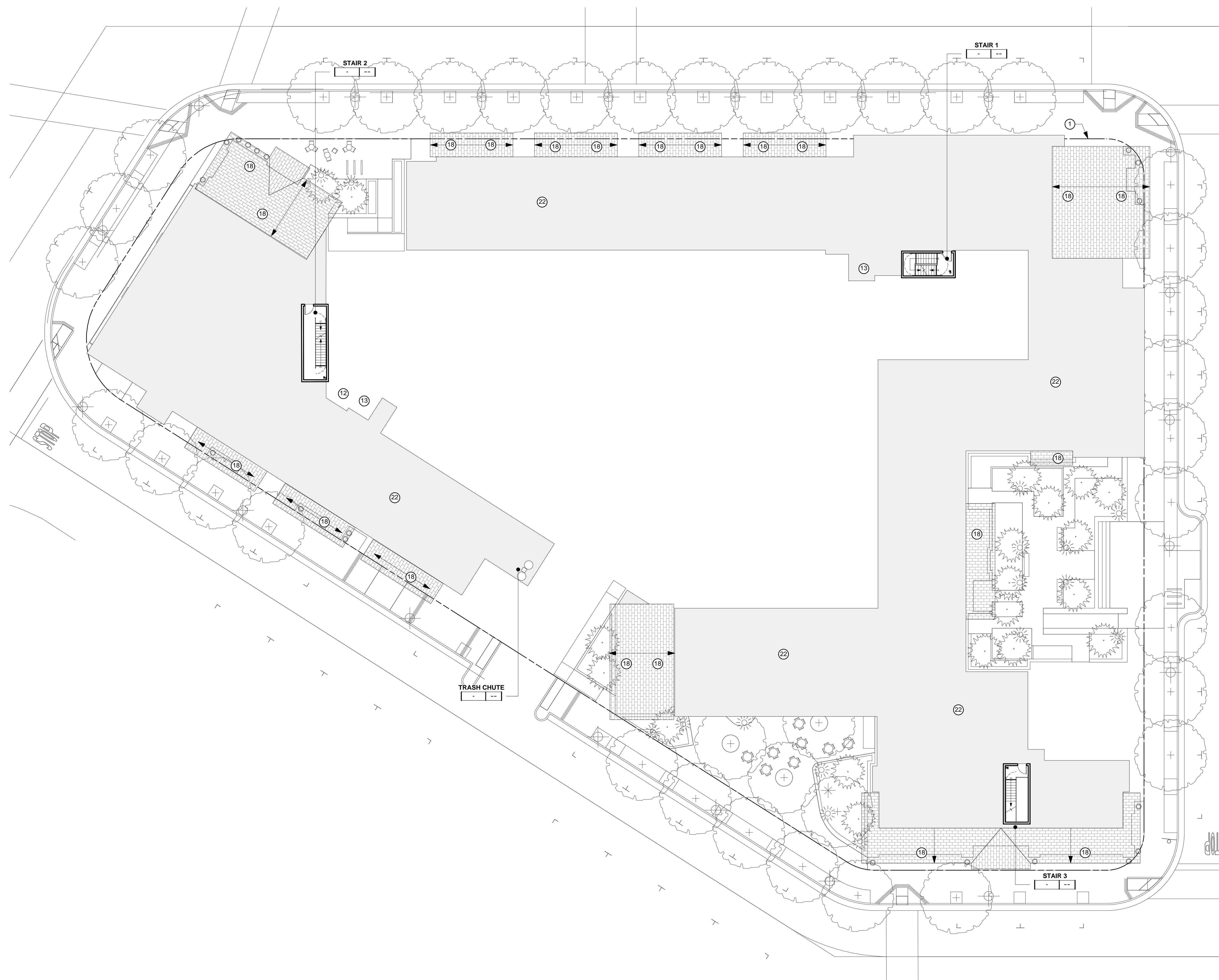
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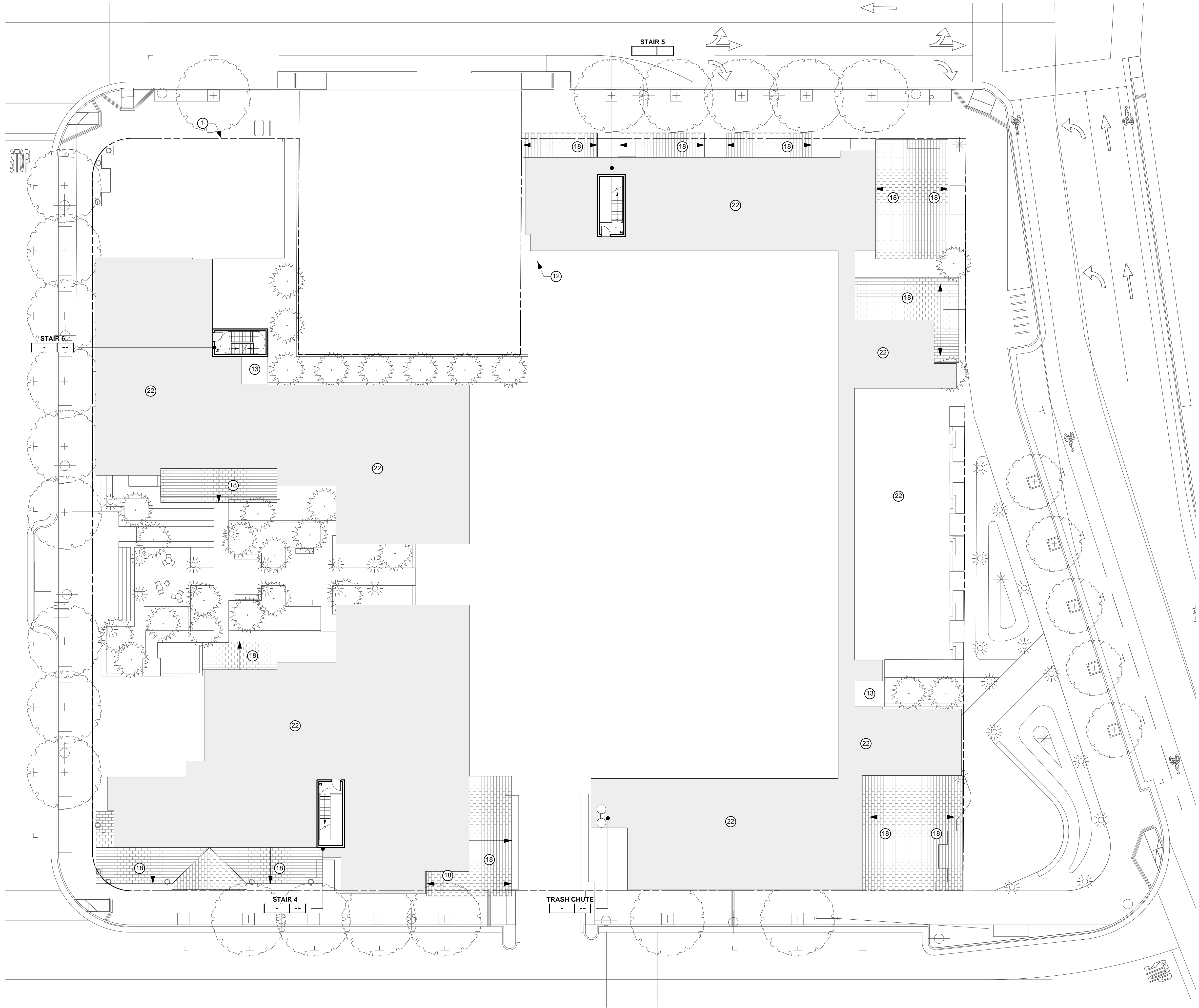
SCALE _____ 1/16" = _____

PROJECT NO. 1618 DRAWN BY N _____

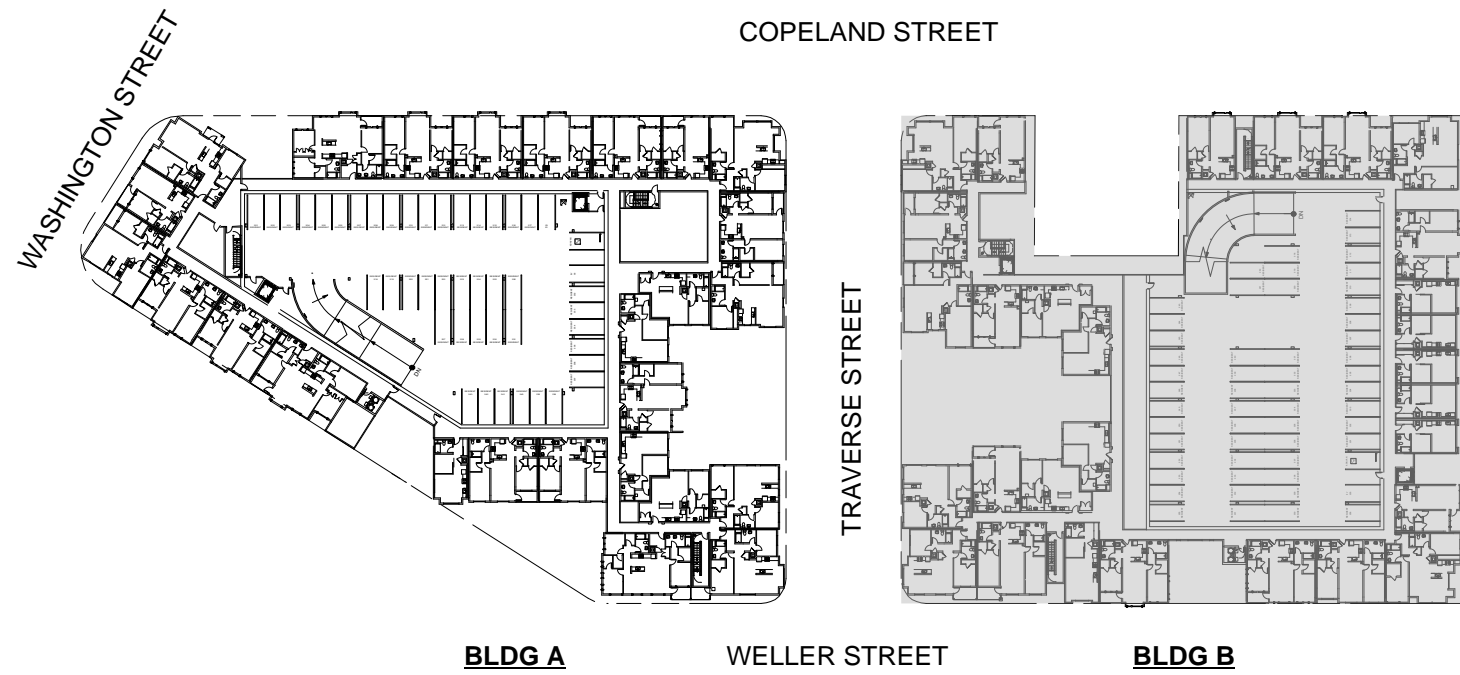
DATE _____

A2.4A





- SHEET NOTES**
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1 PROPERTY LINE/ SIDEWALK EASEMENT LINE
 - 2 CONCRETE CURB & SIDEWALK, S.C.D.
 - 3 BAY WINDOW, 2'-0" DEPTH TYP.
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 - 14 STAIR ACCESS
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 - 20 DECK
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 - 23 GALLERY, 8'-0" MIN. DEPTH, 11'-0" MIN HEIGHT, 2'-0" FROM BACK OF CURB, GALLERY ROOF NON-OCCUPIED
 - 24 PROVIDE RESTAURANT INFRATRUCTURE AT PROJECT OWNER DISCRETION/PROGRAM INCLUDING BUT NOT LIMITED TO: DEPRESSED SLAB @ BACK OF HOUSE, RTD EXHAUST SHAFT TO ROOF, GGAS CONNECTION, GREASE TRAP LOCATION TBD.

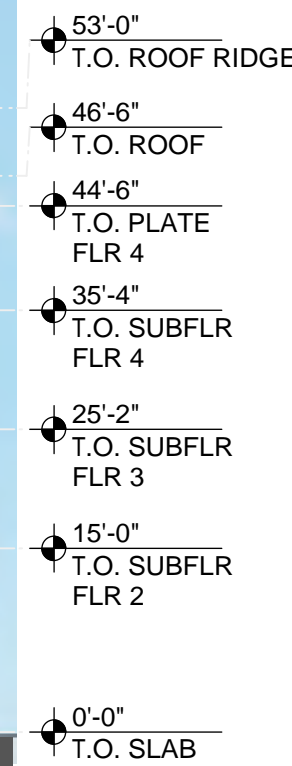


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SPAR RESUBMIT 2	11.05.18
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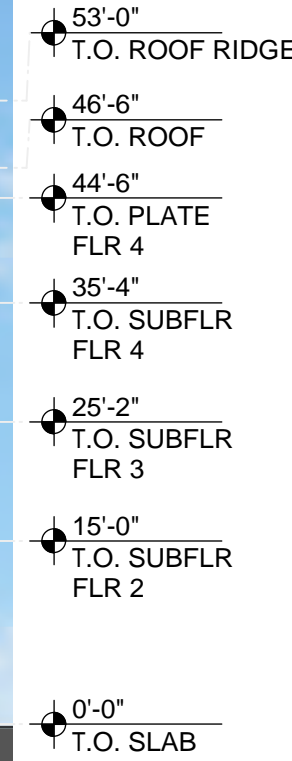
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**BUILDING B
PLAN
ROOF**

SHEET TITLE
SCALE 1/16"=1'
PROJECT NO. 1618 DRAWN BY: NS
SHEET SIZE: 30" x 42"

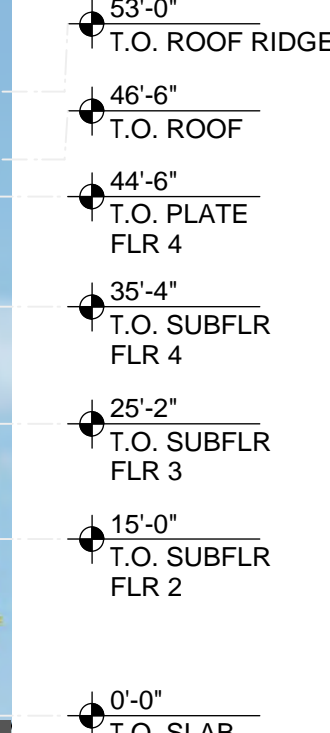


BLDG A: ELEVATION - COPELAND STREET 4
1/16" = 1'-0"

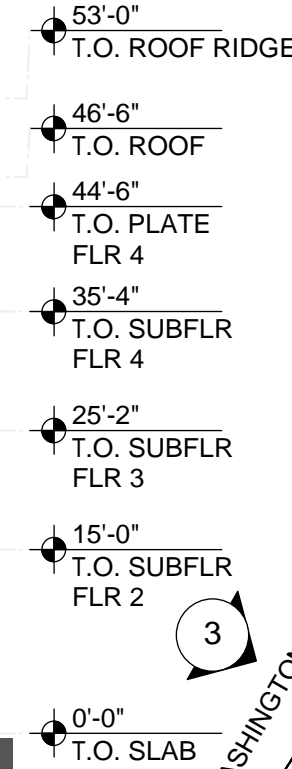


BLDG A: ELEVATION - WASHINGTON STREET **3**

BLDG A: ELEVATION -WELLER STREET (ANGLE) **2B**
1/16" = 1'-0"

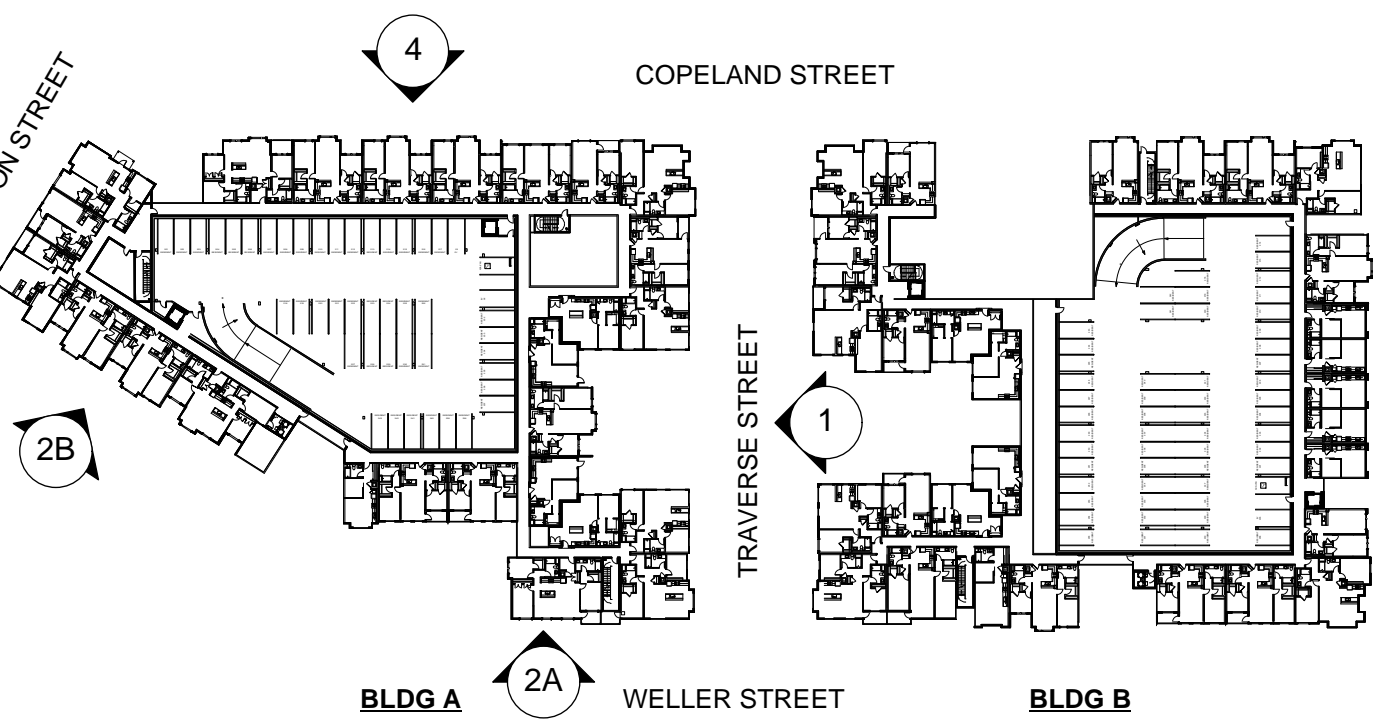


BLDG A: ELEVATION - WELLER STREET **2A**
1/16" = 1'-0"



BLDG A: ELEVATION - TRAVERSE STREET 1

1/16" = 1'-0"



- ① 30 YEAR COMP SHINGLE
- ② FIBER CEMENT PANEL FASCIA, PTD.
- ③ SHEET METAL FASCIA, PTD.
- ④ VPI VINYL WINDOW (RUBBED BRONZE/ESPRESSO)
- ⑤ ALUMINUM STOREFRONT SYSTEM (COLOR MATCH VINYL)
- ⑥ CORRUGATED METAL SIDING, PTD.
- ⑦ FIBER CEMENT LAP SIDING, PTD.
- ⑧ FIBER CEMENT T&G VERTICAL SIDING
- ⑨ PLASTER, PTD.
- ⑩ BLDG BASE/PILLASTER: ADHEREED BLUE STONE
- ⑪ PARAPET WITH GALVINIZED SHEET METAL COPING, PTD.
- ⑫ STEEL SUNSHADE, HOT-DIP, GALV. PTD.
- ⑬ METAL AWNING, HOT-DIP, GALV. PTD.
- ⑭ CLOTH AWNING
- ⑮ RETAIL SIGNAGE, PER PETALUMA STANDARDS
- ⑯ "L" ANGAL METAL TRUSS, HOT-DIP, GALV. PTD.
- ⑰ STEEL TUBE RAILING, 43" AFF
- ⑱ OVERHEAD COILING GARAGE DOOR
- ⑲ RESIDENTIAL LOBBY DOOR
- ⑳ RETAIL TYPE DOOR
- ㉑ STAIR DOOR
- ㉒ SIDEWALK RAILING, PTD.
- ㉓ ELEVATOR PENTHOUSE
- ㉔ BAY WINDOW
- ㉕ DECK OR JULIET BALCONY
- ㉖ DECK DOOR
- ㉗ COURTYARD BREEZEWAY
- ㉘ GOOSENECK INDUSTRIAL LIGHT
- ㉙ NEW, FIXED-IN-PLACE FIBER CEMENT HISTORICAL ACCENT DOOR
- ㉚ METAL OR FIBER CEMENT POST
- ㉛ OVERHEAD ROLL-UP GLASS DOOR

ISSUE	DATE
SPAR SUBMIT	7.28.15
SPAR RESUBMIT 1	6.11.18
SPAR RESUBMIT 2	1.31.19
SPAR 2 - REV 1	2.26.19
SPAR 2 - REV 2	3.22.19
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SHEET TITLE _____

SCALE $1/16" = 1'-0"$

PROJECT NO. 1618 DRAWN BY NS

SHEET SIZE: 30 X 42

ISSUE	DATE
SPAR SUBMIT	7.28.17
SPAR RESUBMIT 1	6.11.18
SPAR RESUBMIT 2	1.31.19
SPAR 2 - REV 1	2.26.19
SPAR 2 - REV 2	3.22.19
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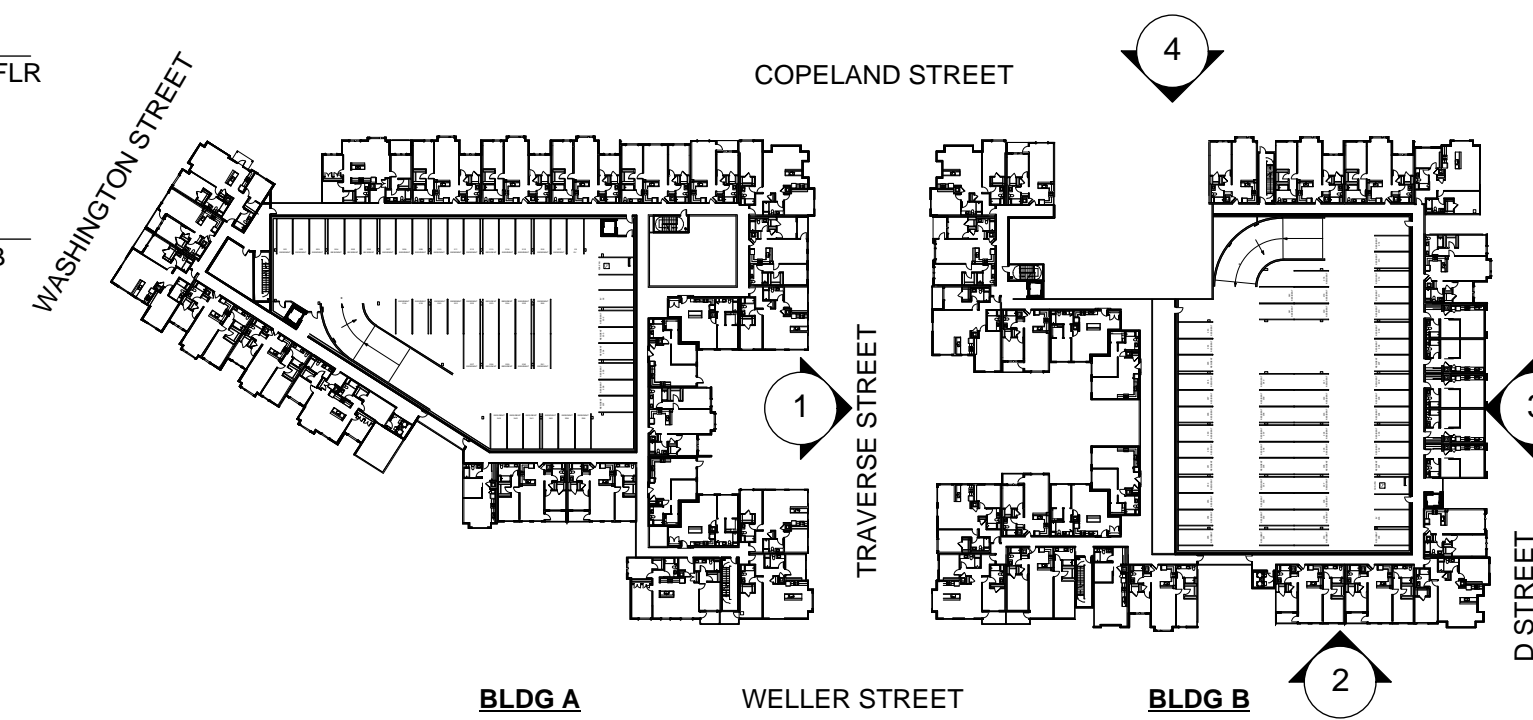
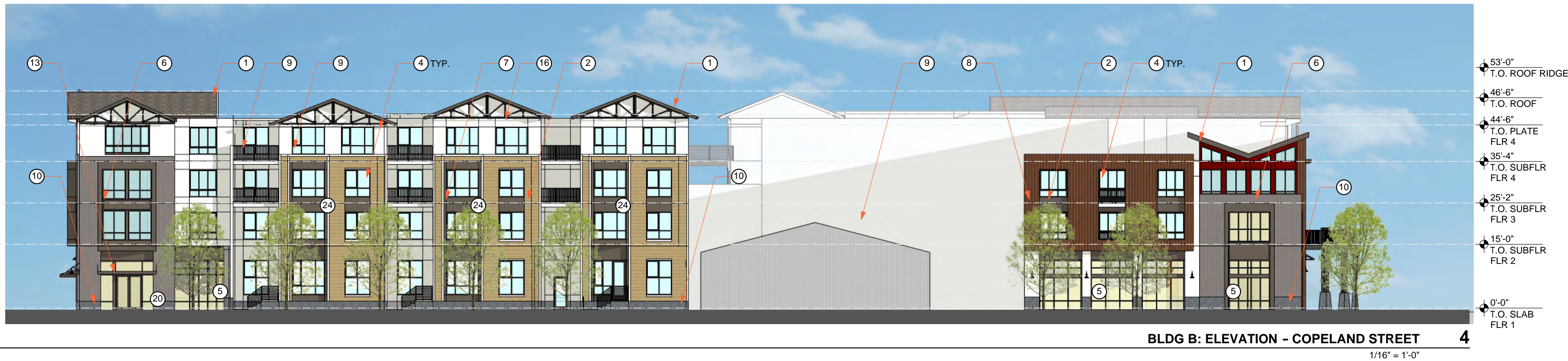
BLDG B
ELEVATIONS

SHEET TITLE
SCALE 1/16"=1'-0"
PROJECT NO. 1618 DRAWN BY NS
SHEET SIZE: 30" x 42"

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 30 YEAR COMP SHINGLE
- FIBER CEMENT PANEL FASCIA, PTD.
- SHEET METAL FASCIA, PTD.
- VPI VINYL WINDOW (RUBBED BRONZE/ESPRESSO)
- ALUMINUM STOREFRONT SYSTEM (COLOR MATCH VINYL)
- CORRUGATED METAL SIDING, PTD.
- FIBER CEMENT LAP SIDING, PTD.
- FIBER CEMENT T&G VERTICAL SIDING
- PLASTER, PTD.
- BLDG BASE/PILLASTER: ADHEREED BLUE STONE
- PARAPET WITH GALVANIZED SHEET METAL COPING, PTD.
- STEEL SUNSHADE, HOT-DIP, GALV. PTD.
- METAL AWNING, HOT-DIP, GALV. PTD.
- CLOTH AWNING
- RETAIL SIGNAGE, PER PETALUMA STANDARDS
- "L" ANGLE METAL TRUSS, HOT-DIP, GALV. PTD.
- STEEL TUBE RAILING, 43" AFF
- OVERHEAD COILING GARAGE DOOR
- RESIDENTIAL LOBBY DOOR
- RETAIL TYPE DOOR
- STAIR DOOR
- SIDEWALK RAILING, PTD.
- ELEVATOR PENTHOUSE
- BAY WINDOW
- DECK OR JULIET BALCONY
- VPI DECK DOOR
- COURTYARD BREEZEWAY
- GOOSENECK INDUSTRIAL LIGHT
- NEW, FIXED-IN-PLACE FIBER CEMENT HISTORICAL ACCENT DOOR
- METAL OR FIBER CEMENT POST
- OVERHEAD ROLL-UP GLASS DOOR





WASHINGTON & WELLER ST 3



GALLERY @ WELLER STREET ST 2



LEASING CORNER @ COPELAND 1



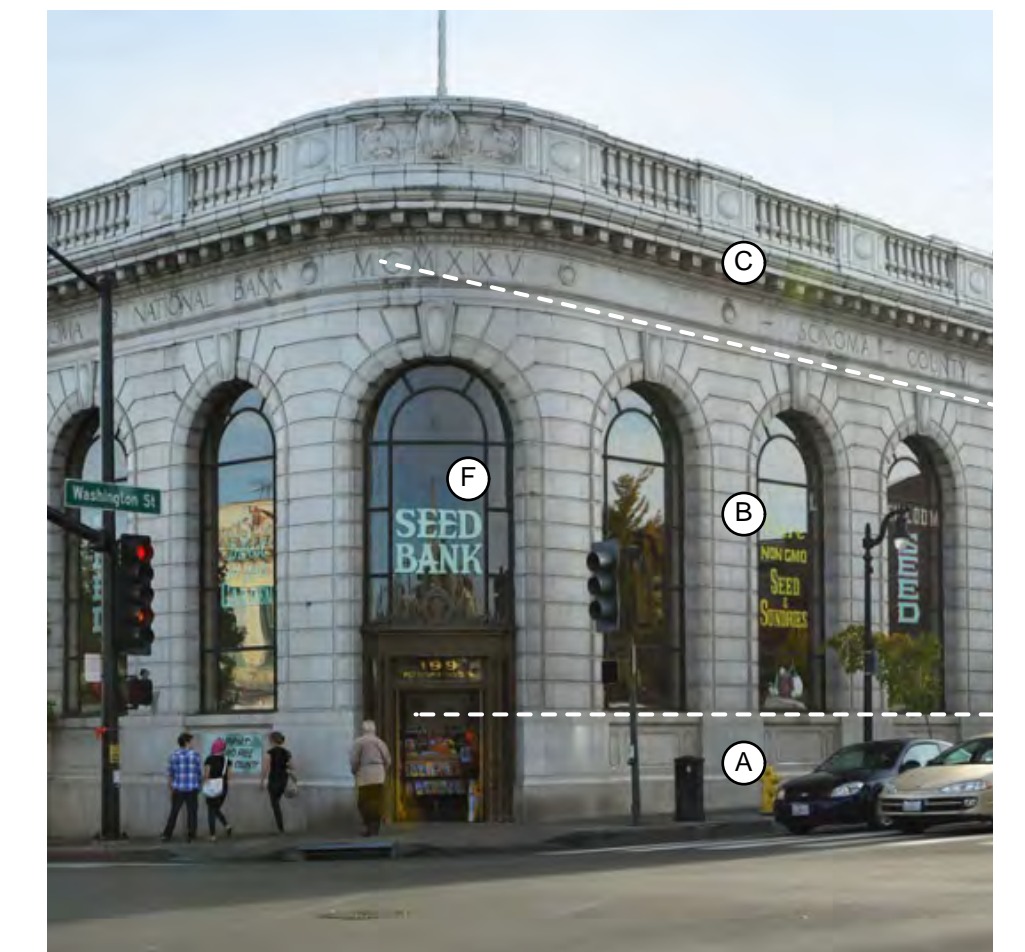
- LAYERED & VARYING VOLUMES/ MASSES**
- ① **GRAIN/INDUSTRIAL ELEVATOR AS FOCAL POINT**
- ② **LOW SLOPED ROOFS**
- ASYMETRICAL DESIGN**



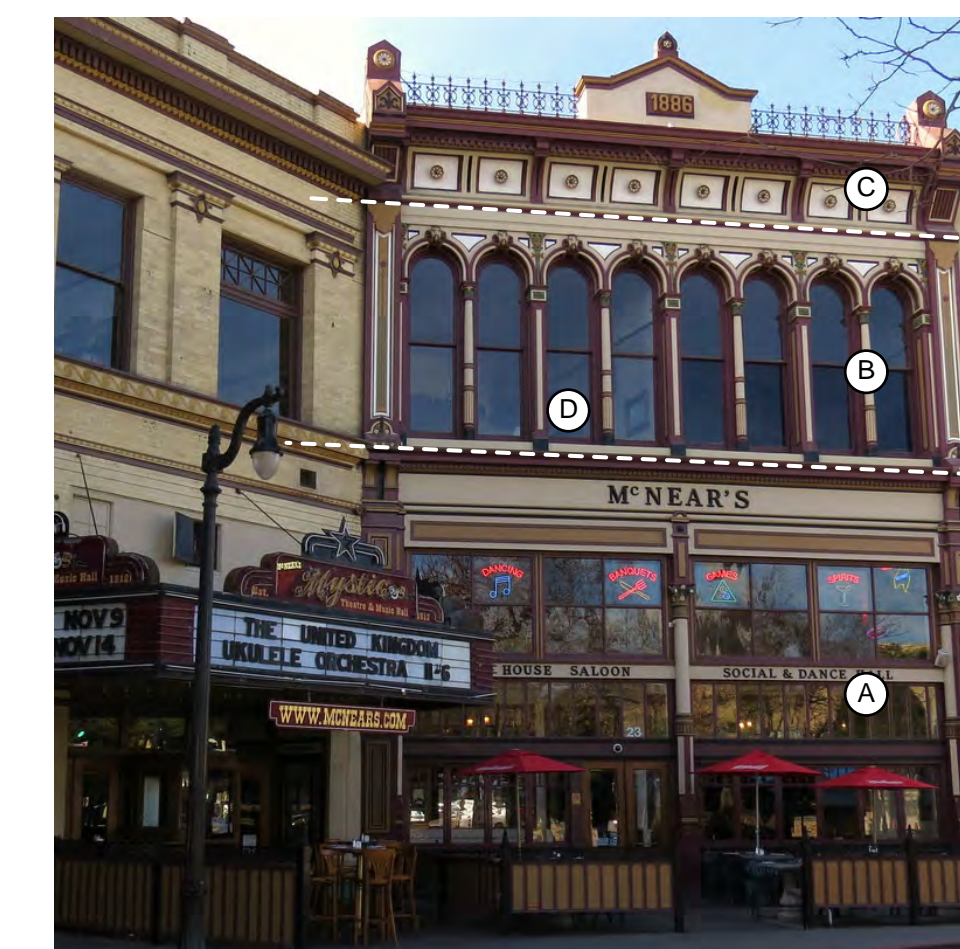
- LAYERED & VARYING VOLUMES/MASSES
- ③ GRAIN/INDUSTRIAL ELEVATOR TOWER/PENTHOUSE
- ④ MIXTURE OF FLAT AND SLOPED ROOFS - PLAYFUL
ASYMMETRICAL



- REPETITION OF LOW SLOPED ROOFS
- ⑤ WAREHOUSES MARCH ALONG STREET IN SAME ORIENTATION
 - ⑥ LAYERING OF ROOF SLOPES - VISUAL INTEREST
 - ⑦ GRAIN/INDUSTRIAL ELEVATOR TOWER/PENTHOUSE
- ASYMMETRICAL OVERALL DESIGN
SYMMETRICAL WAREHOUSE FRONTS



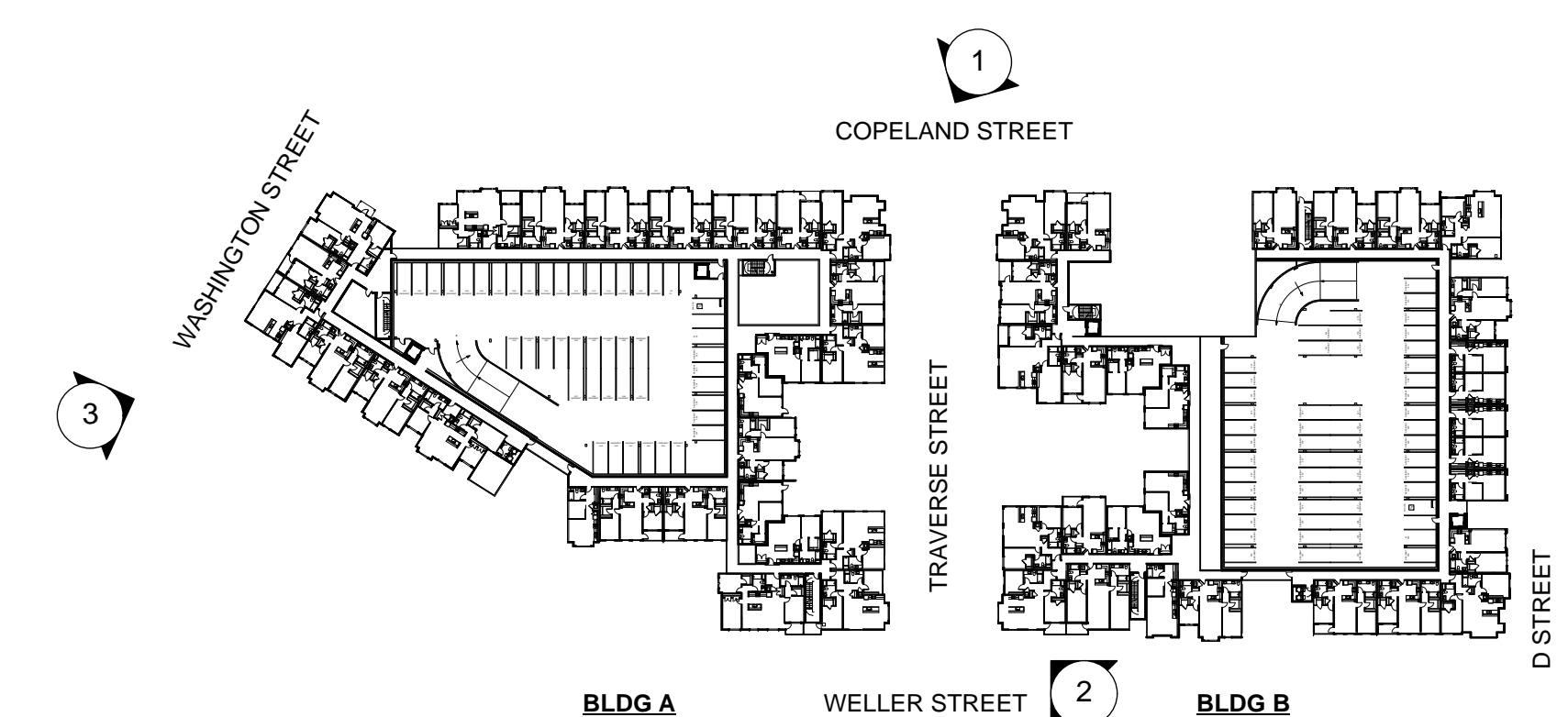
- BASE/ MIDDLE/ TOP**
- (A) BASE: STONE**
- (B) MIDDLE: LARGE WINDOWS**
- (C) TOP: CORNICE, DENTAL, RAILING**
- (F) LARGE OVERSIZED WINDOWS
MINIMAL & OFFSET MULLIONS
ARCHED
VERTICALLY ORIENTED
DOUBLE/TRIPLE HEIGHT**



- BASE/ MIDDLE/ TOP
- (A) BASE: STOREFRONTS
 - (B) MIDDLE: RESIDENTIAL
 - (C) TOP: CORNICE/CROWN
 - (D) SINGLE HUNG WINDOWS



- BASE/ MIDDLE/ TOP**
- (A) BASE: STONE**
 - (B) MIDDLE: LARGE WINDOWS AND PILASTERS**
 - (C) TOP: CORNICE, CROWN**
 - (E) LARGE WINDOWS**
 - MINIMAL & OFFSET MULLIONS**
 - VERTICALLY ORIENTED**
 - DOUBLE/TRIPLE HEIGHT**
- REPETITION OF PILASTERS**



ISSUE	DATE
PAR SUBMIT	7.28.17
PAR RESUBMIT 1	6.11.18
PAR RESUBMIT 2	1.31.19
PAR 2 - REV 1	2.26.19
PAR 2 - REV 2	3.22.19
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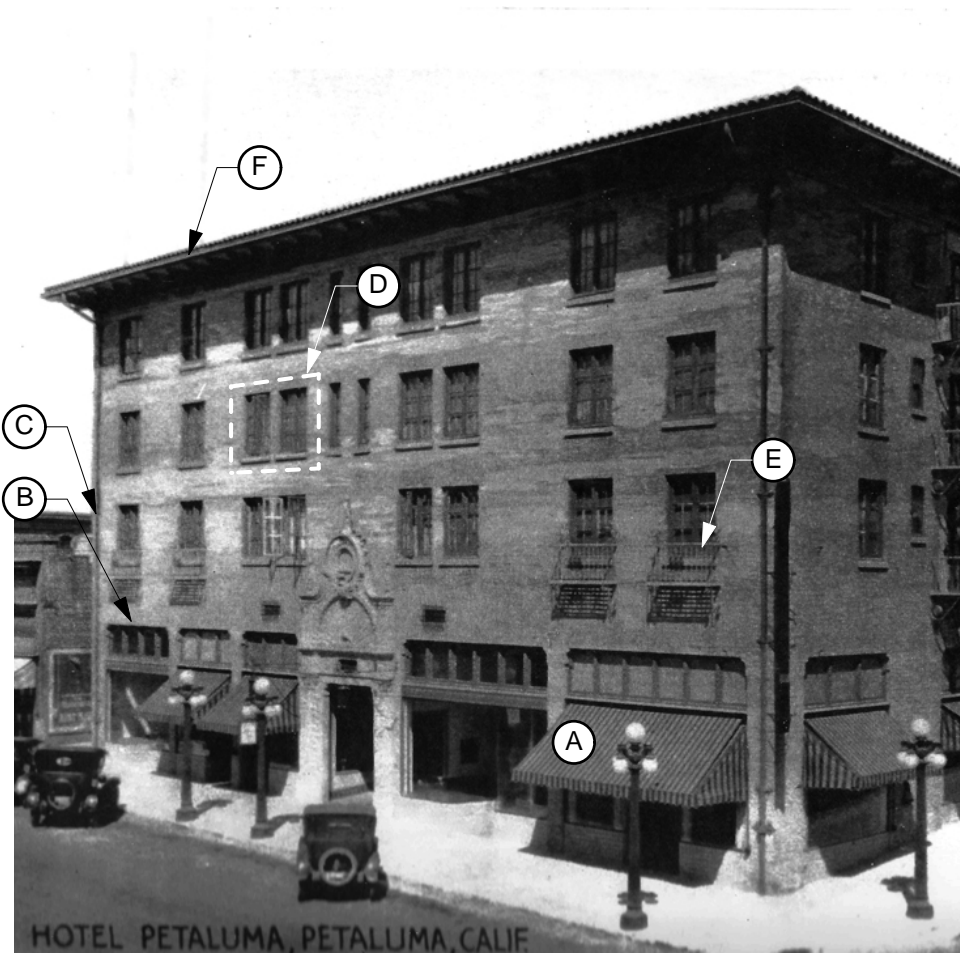
D & WELLER STREET 3



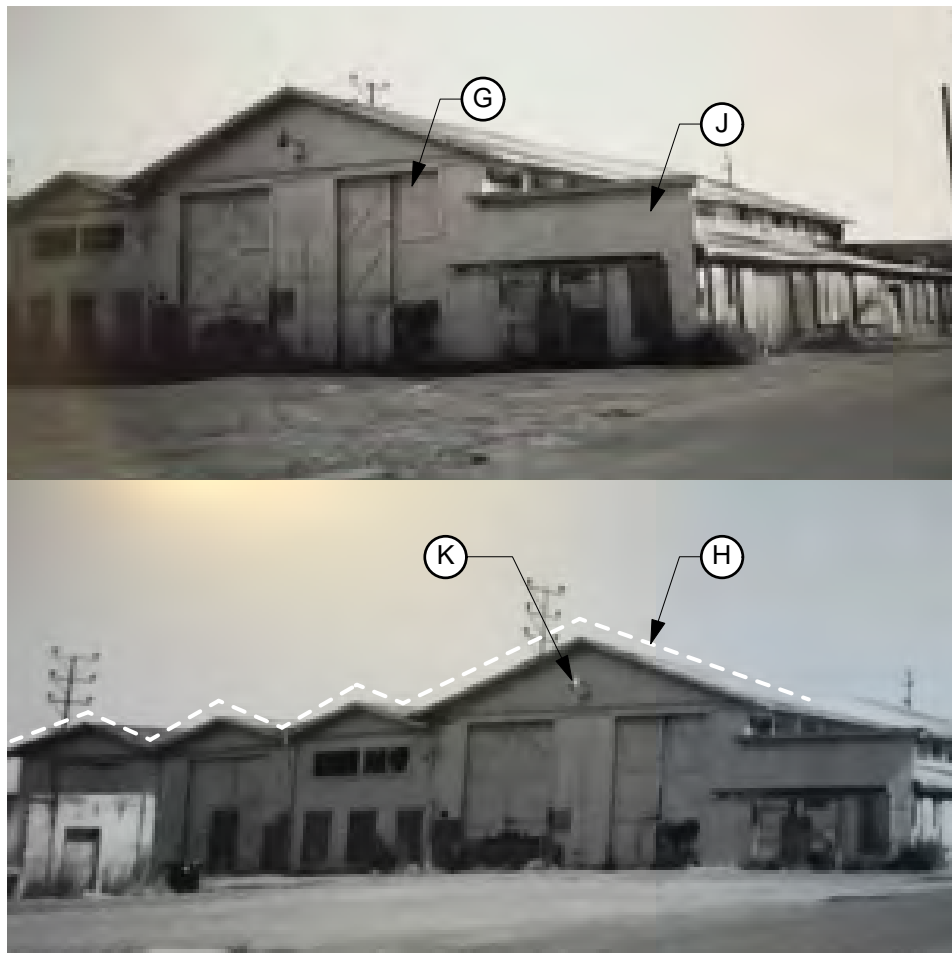
COPELAND & D STREET 2



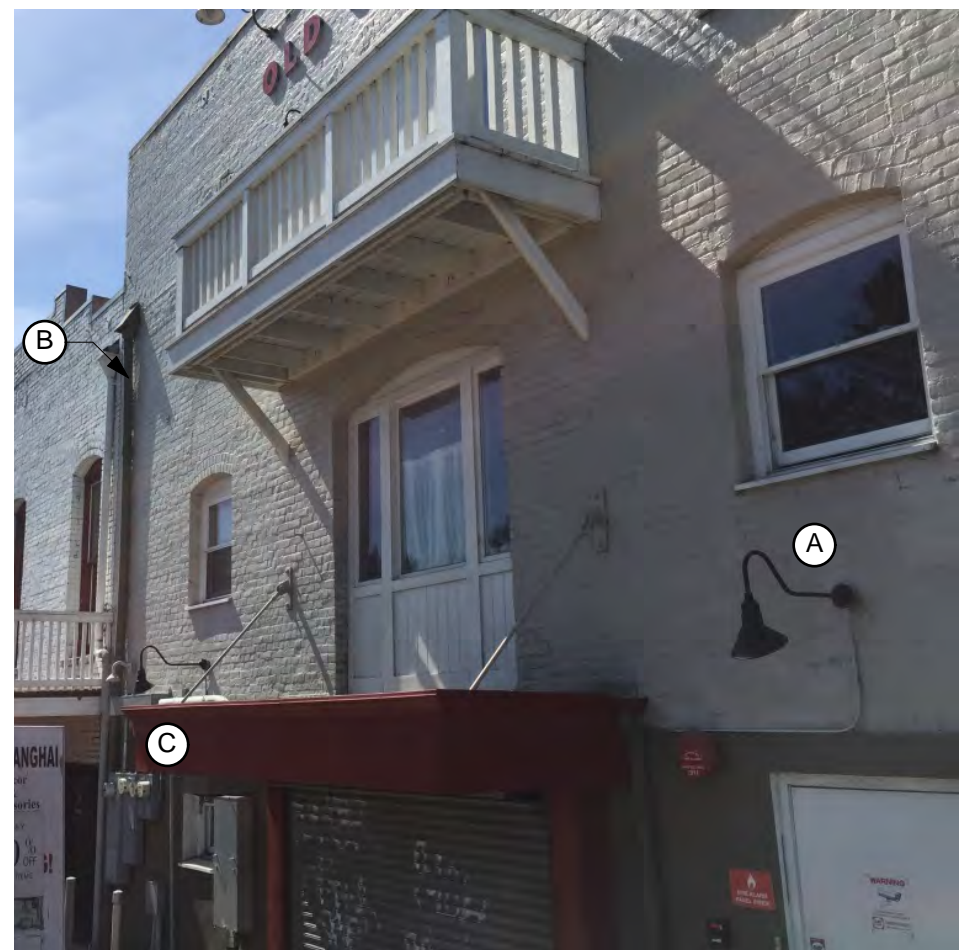
COPELAND STREET 1



- 4 STORY BUILDING (EQUIVALENT TO 5 STORY IN HEIGHT)
- (A) LARGE CLOTH AWNINGS
 - (B) TRANSOM WINDOWS @ STOREFRONT
 - (C) EXPOSED RAIN WATER LEADERS
 - (D) PAIRED, DIVIDED LIGHT WINDOWS
 - (E) METAL JULIETTES
 - (F) MINIMAL SLOPE, COLONIAL STYLE ROOF



- TRAIN WAREHOUSE PREVIOUSLY ON SITE
- (G) LARGE WOOD WAREHOUSE DOORS FOR TRAINS
 - (H) SLOPED METAL ROOF
 - (J) 'SHOP FRONT' WALL
 - (K) LARGE INDUSTRIAL LIGHT SCONCE



- (A) TRADITIONAL GOOSE NECK LIGHT SCONCE
- (B) EXPOSED RAINWATER LEADERS
- (C) CLOTH AWNING



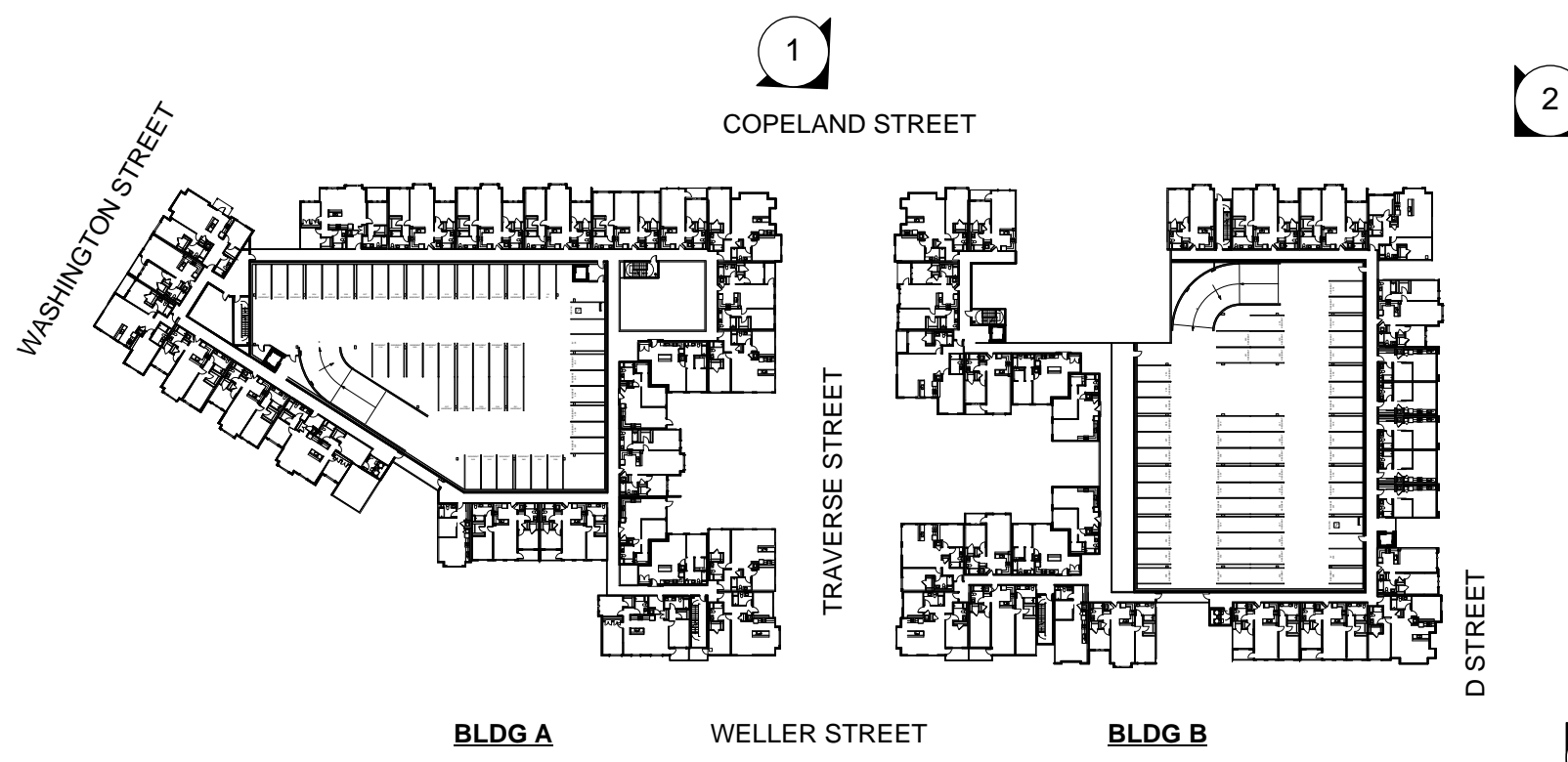
- (D) METAL AWNING
- (E) SIMPLE INDUSTRIAL CAGELIGHT SCONCES



- (F) SIMPLE INDUSTRIAL LIGHT SCONCE
- (G) TRUSS SUPPORTED METAL AWNING



- EXISTING SINGLE TENANT STOREFRONT
- (J) MARBLE SLAB BASE
 - (K) DOOR VESTIBULE
 - (L) SPANSIZE WINDOW LITES
 - (M) METAL AWNING



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SPAR 2 - REV 2	3.22.19
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BLDG A FORECOURT @ TRAVERSE 3



BUILDING B FORECOURT @ TRAVERSE ST 2



LEASING CORNER @ COPELAND 1



COMPLIMENTARY PALLET: MATERIAL/ TEXTURE/ COLOR
LOCAL GREY ROCK
BRICK
CONCRETE
METAL SIDING
GREY/BLUE WOOD
RED CLOTH AWNING
PAINTED METAL ELEMENTS: RAILS AND MASONRY TIES



BRICK AND CORRUGATED METAL SIDING



NEW STOREFRONT
A CLOTH AWNING
B FLOOR TO CEILING GLAZING
C 2'-0" APROXIMATE SPACING BETWEEN WINDOWS
D COMMUNITY SPACE
E SIGNAGE READILY VIEWABLE



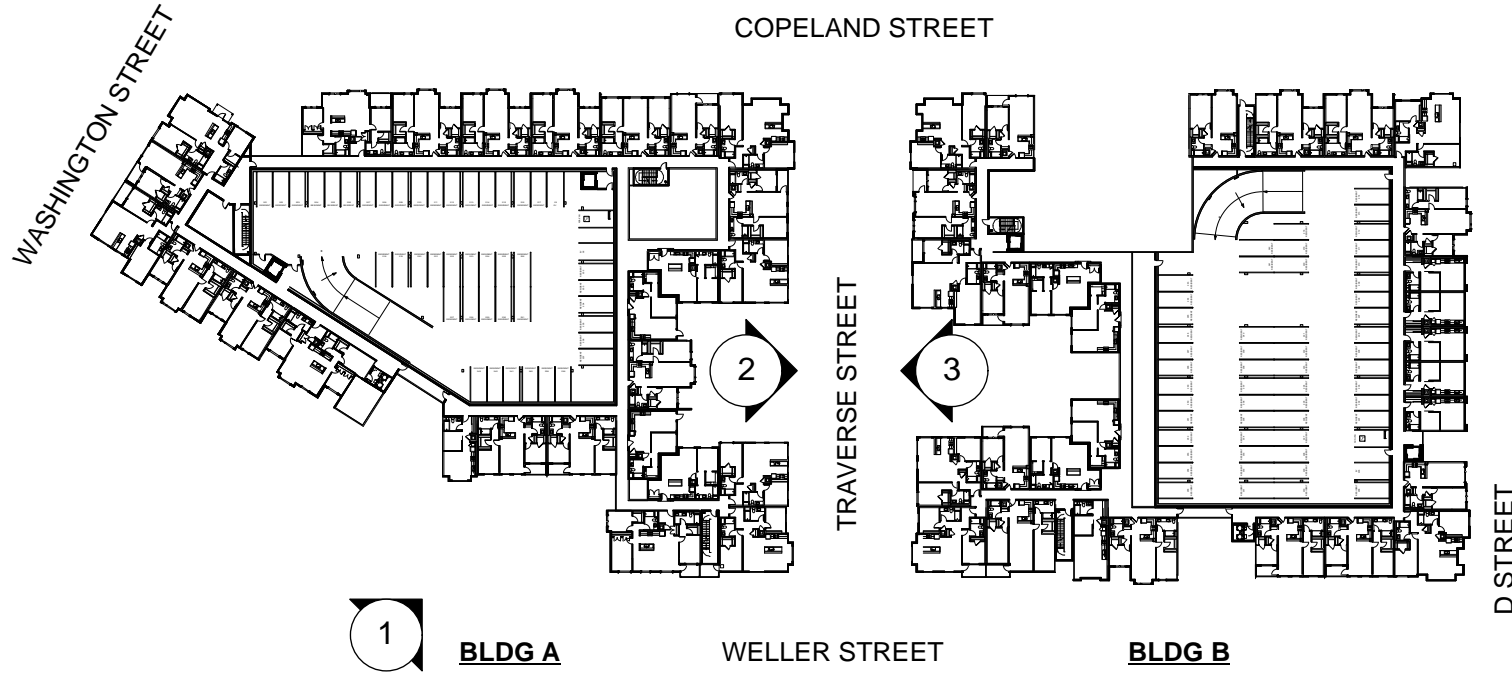
EXISTING SHARED TENANT STOREFRONT
F GLAZED TILE BASE
G VARYING DIVIDED LIGHT WINDOWS
H SIGNAGE MINIMAL



SOFT EARTH TONE PALLET - GREEN
HISTORICAL/TIMELESS
WHITE TRIM
BLACK WINDOWS AND METALWORK



WHITE BUILDING W/ BLACK WINDOWS & DOORS
MATERIALS AND TEXTURE SPEAK FOR THEMSELVES



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SPAR 2 - REV 2	3.22.19
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VIEW FROM THEATER DISTRICT
NTS

1



ADHERED STONE VENEER - COLOR MATCH LOCAL SAMPLES
NTS

7



30 YEAR COMP SHINGLE W/ COLOR VARIATION
NTS

8



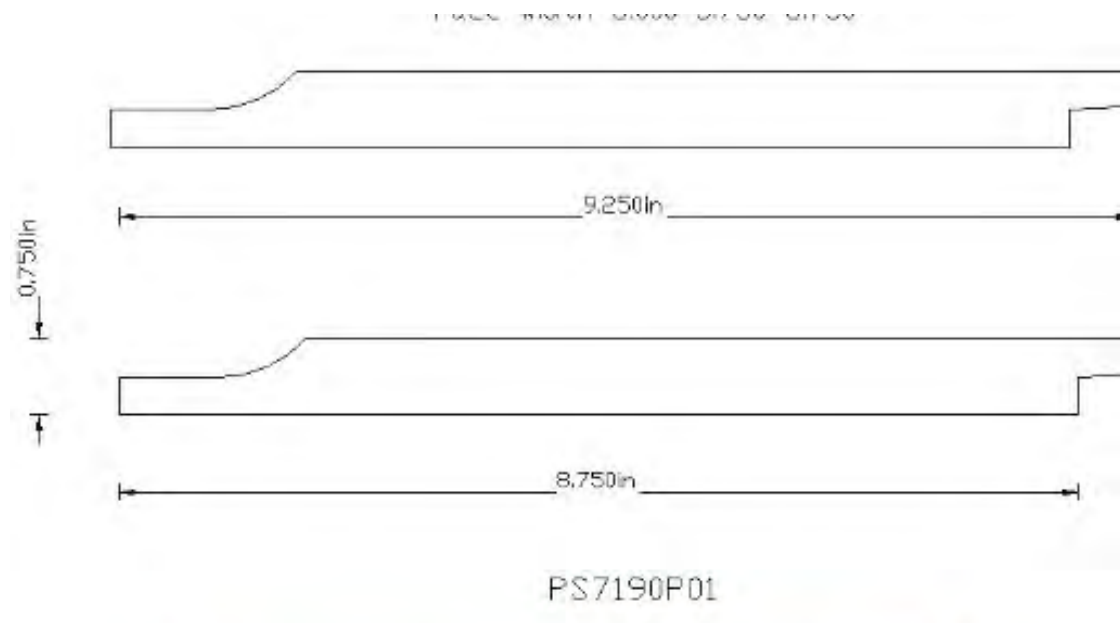
FIBER CEMENT LAP SIDING - EXAMPLE
NTS

4



FIBER CEMENT LAP SIDING - PAINTED
NTS

5



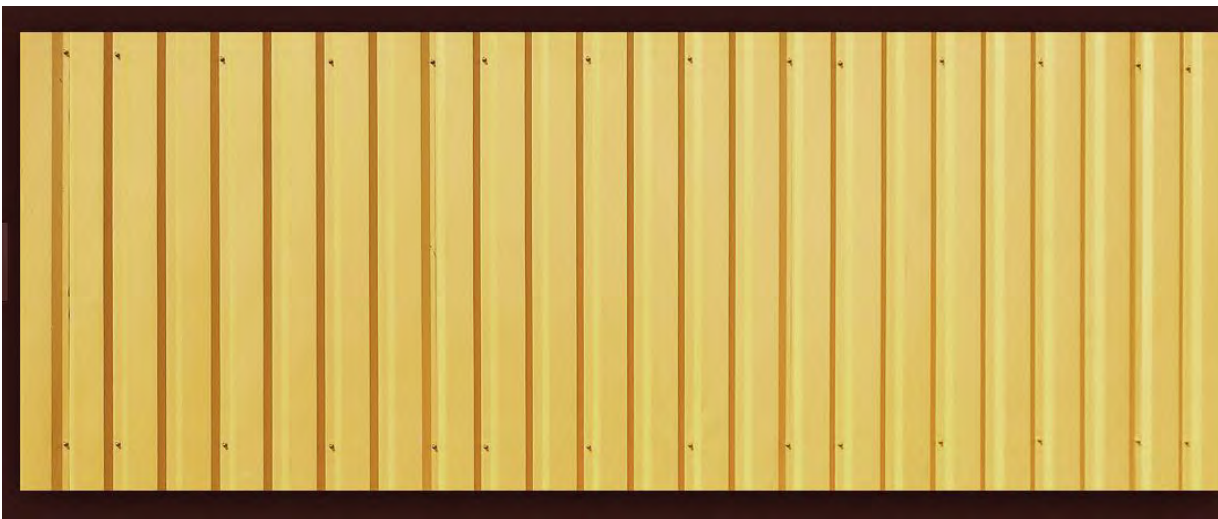
FIBER CEMENT TONGUE AND GROOVE VERTICAL SIDING
NTS

6



CORRUGATED STEEL EXAMPLES
NTS

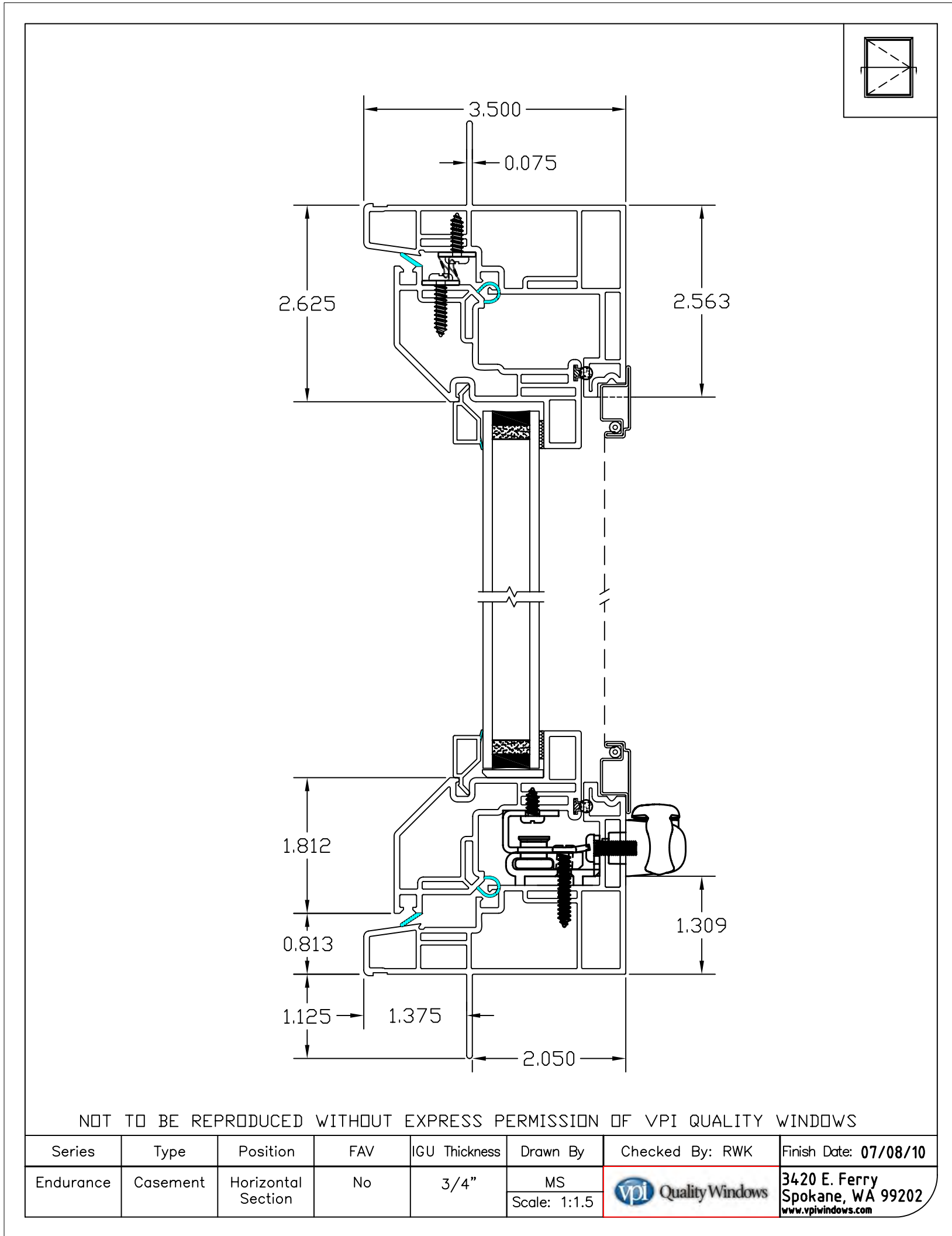
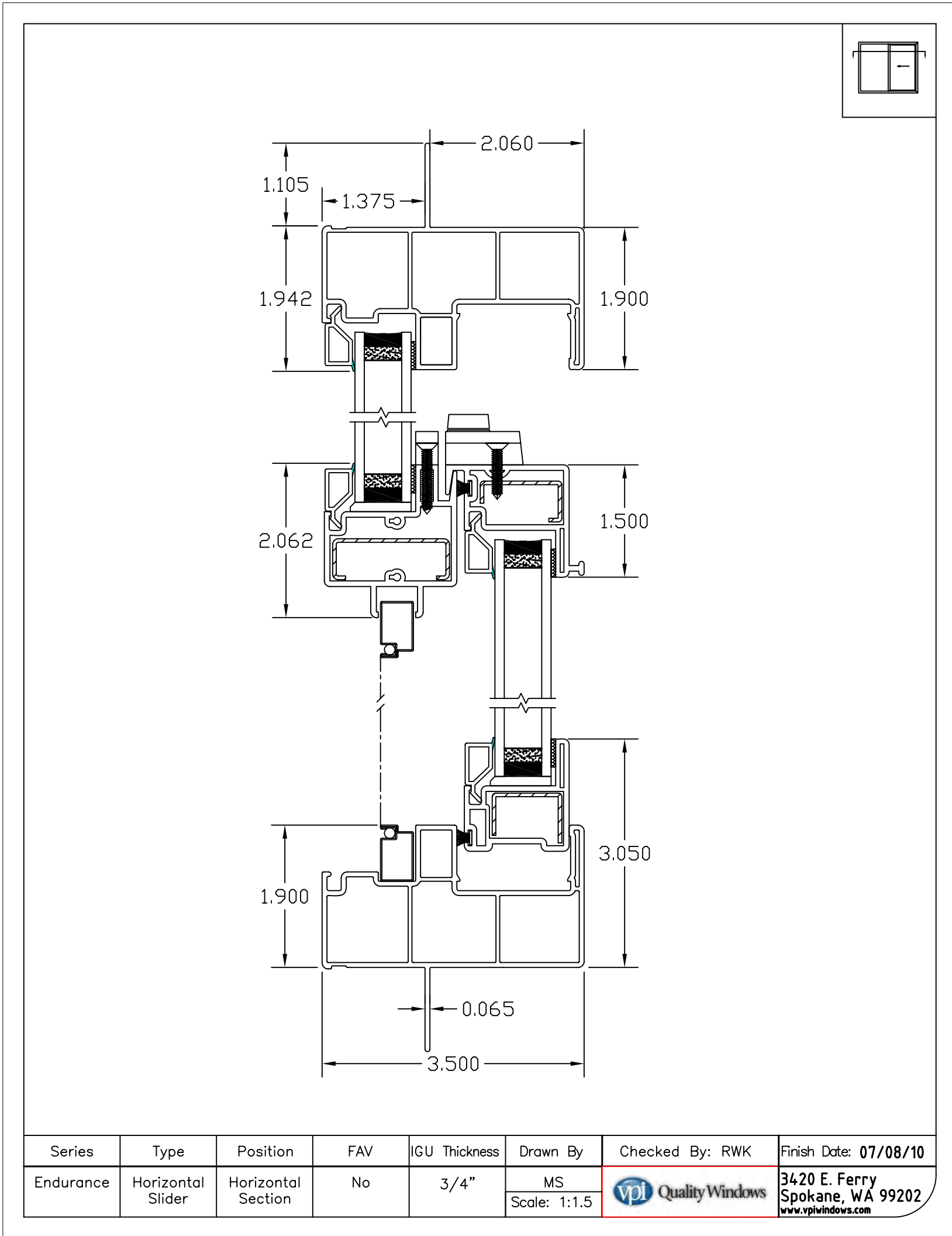
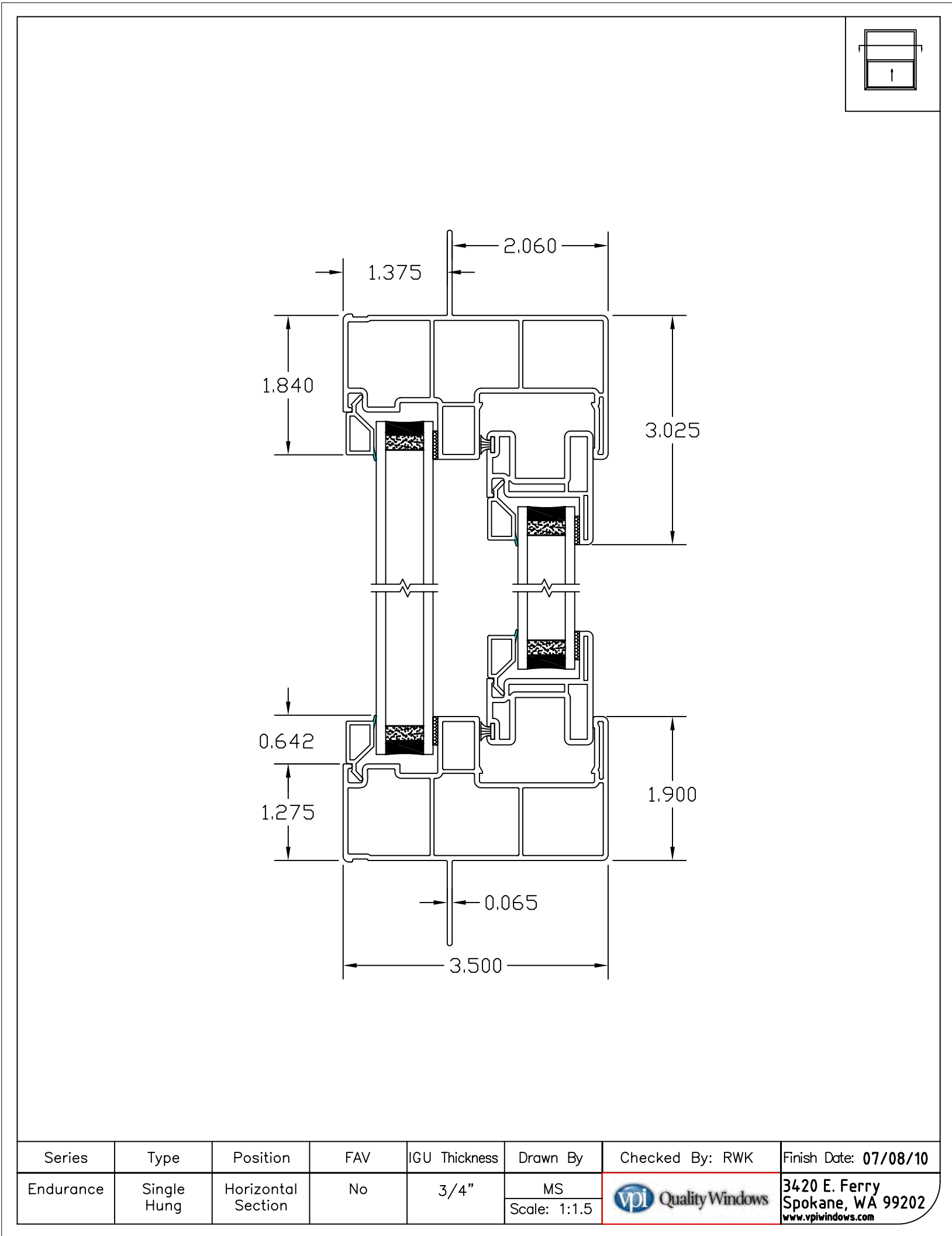
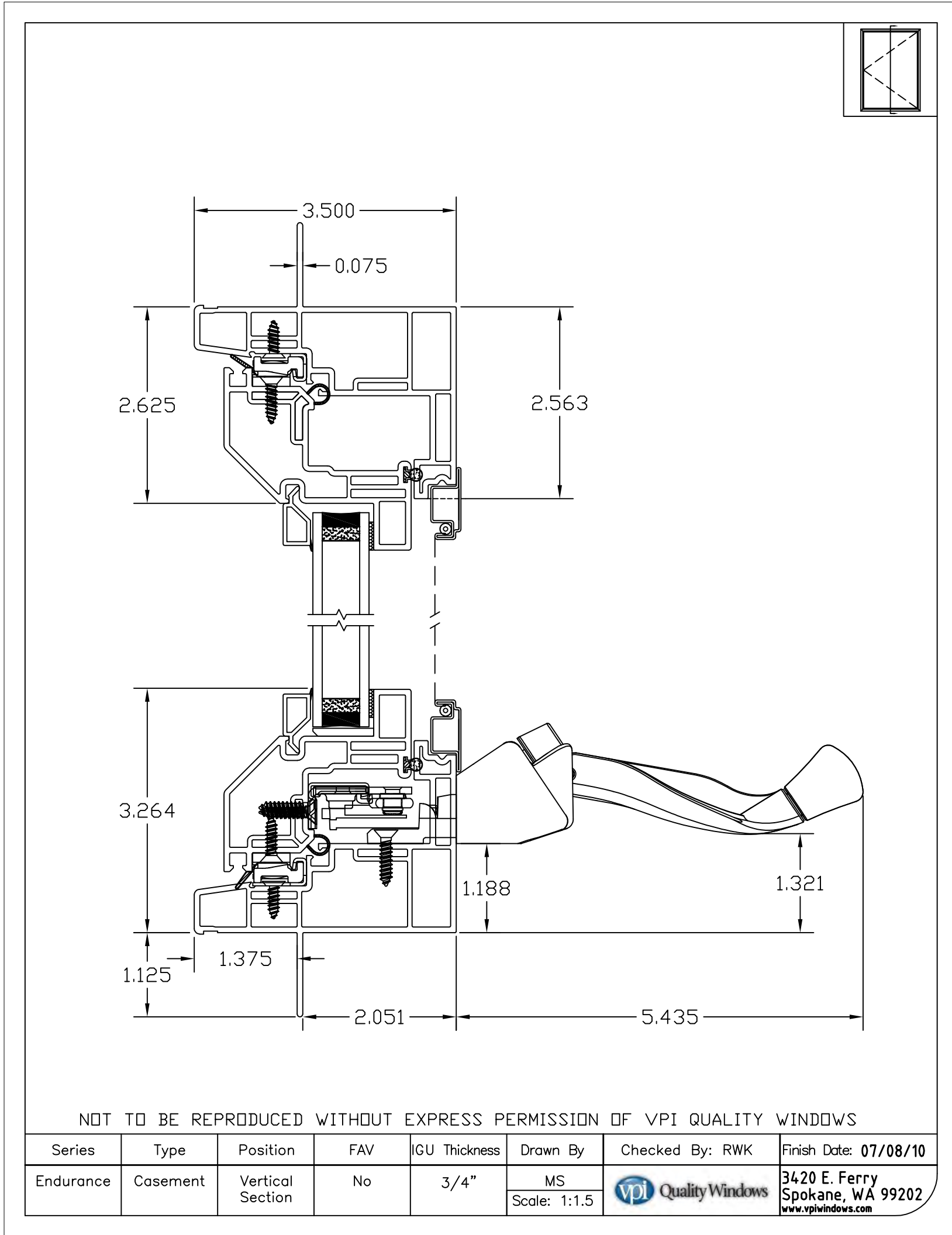
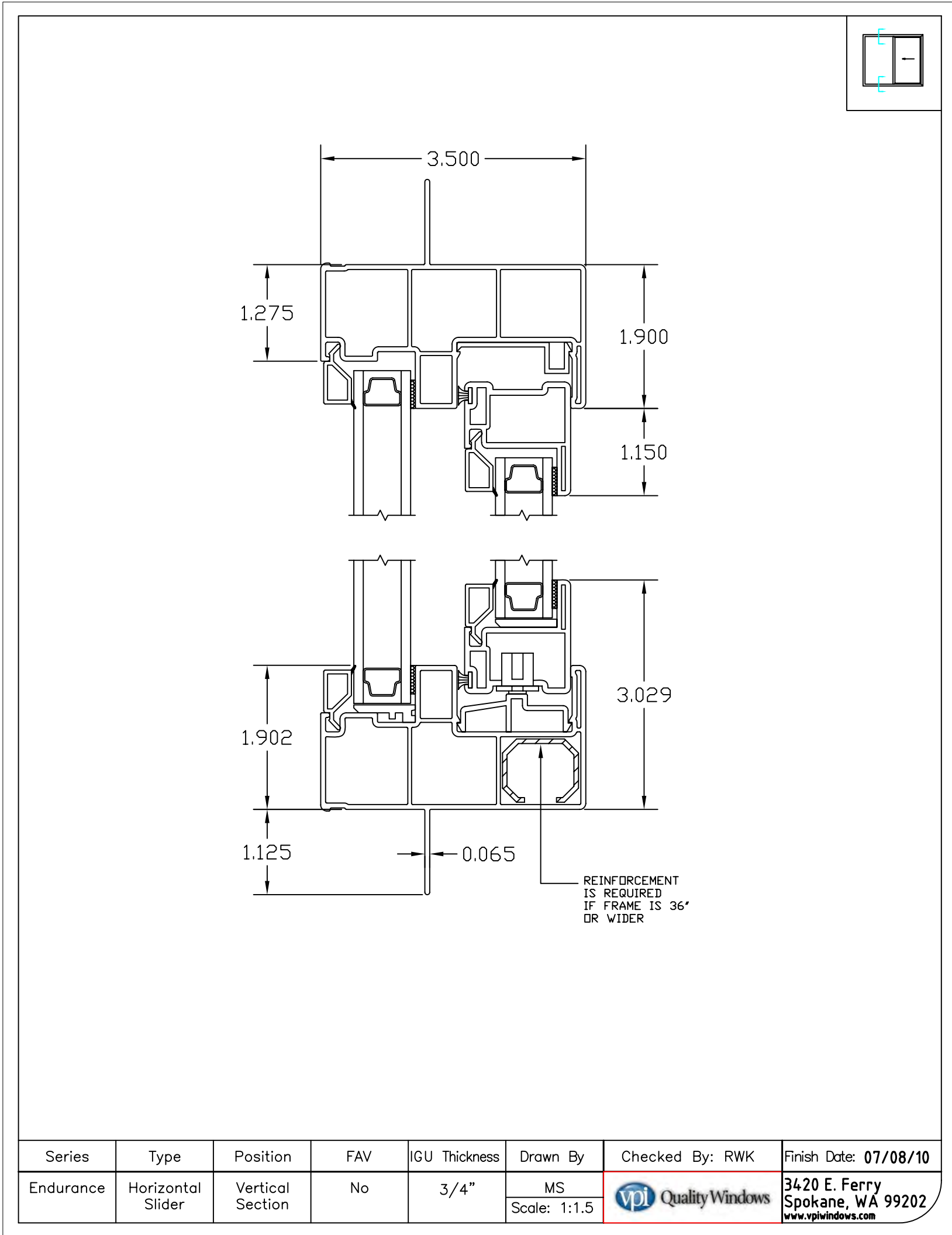
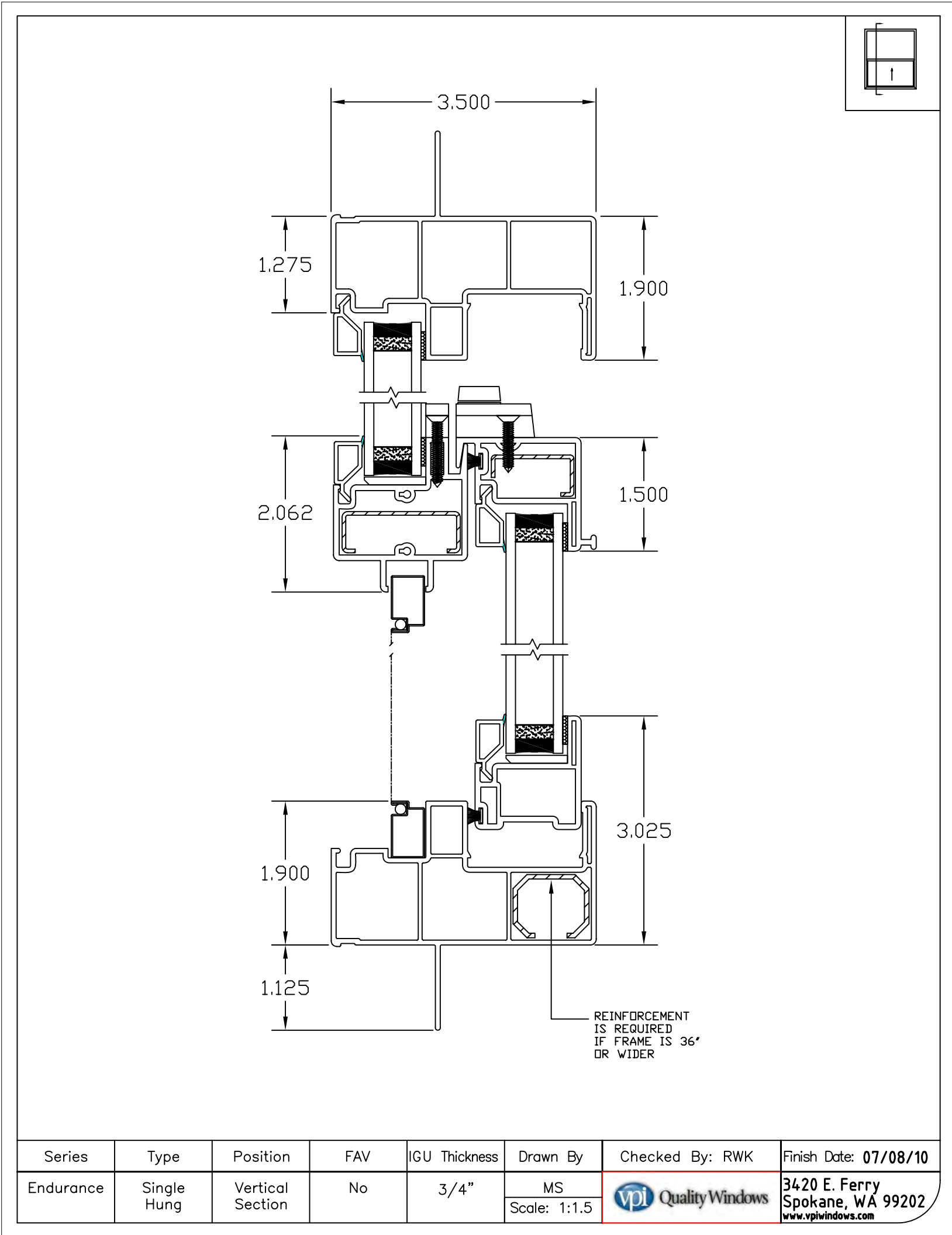
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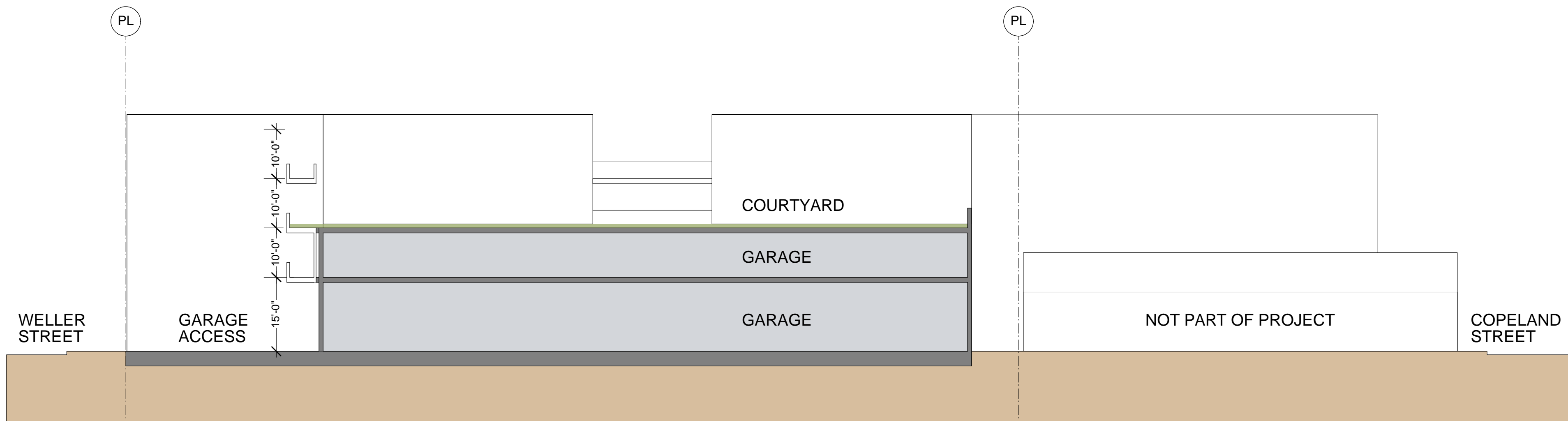


CORRUGATED STEEL - PAINTED
NTS

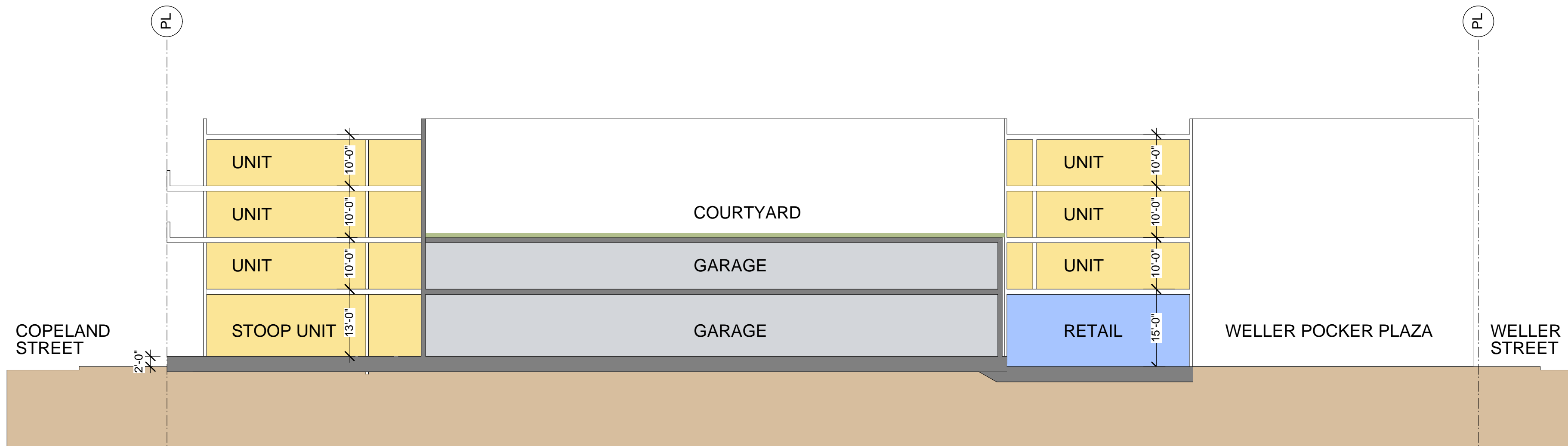
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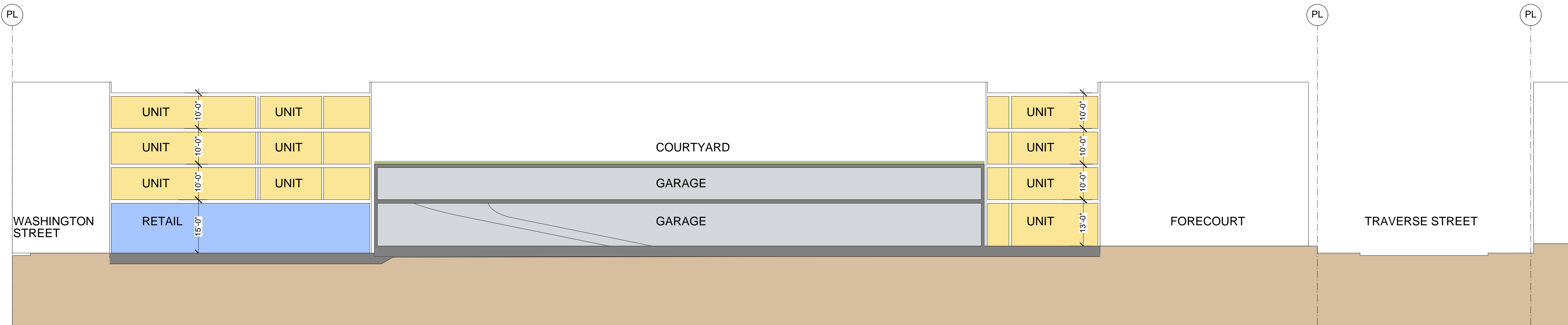




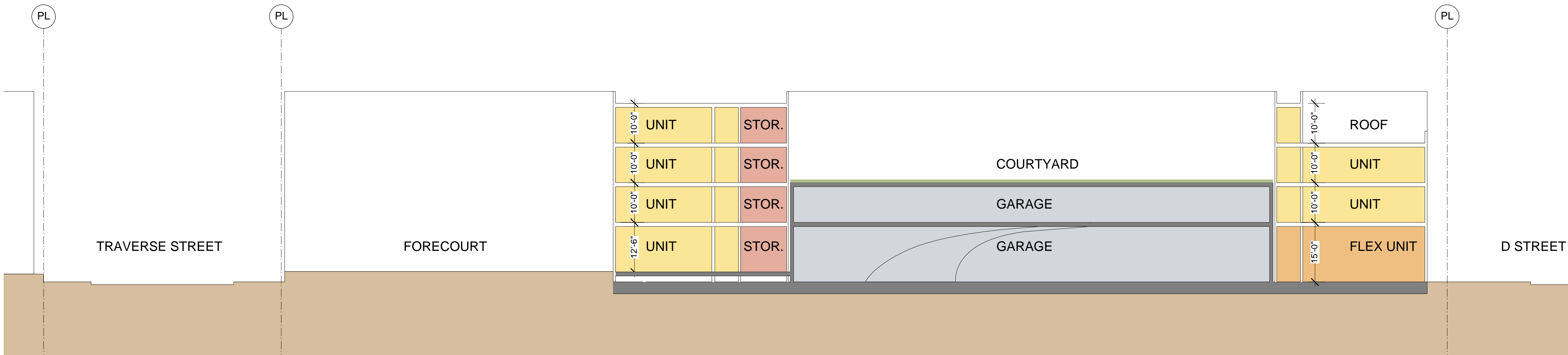
BUILDING SECTION 3
1/16" = 1'-0"



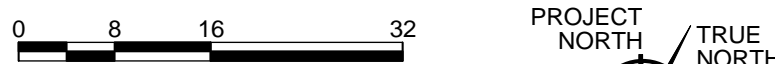
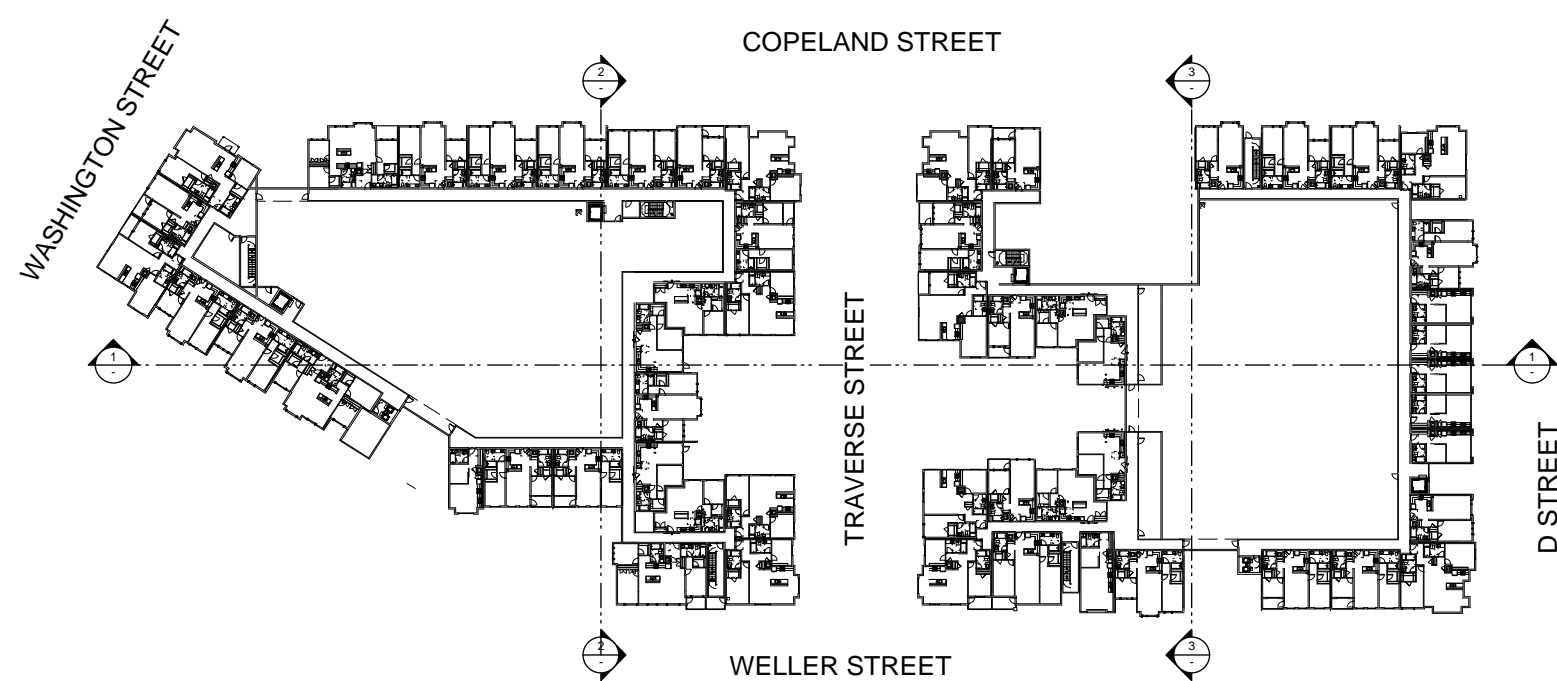
BUILDING SECTION 2
1/16" = 1'-0"



BUILDING SECTION 1B
1/16" = 1'-0"



BUILDING SECTION 1A
1/16" = 1'-0"



ISSUE	DATE
SPAR SUBMIT	7.28.17
SPAR RESUBMIT 1	6.11.18
SPAR RESUBMIT 2	1.31.19
SPAR 2 - REV 1	2.26.19
SPAR 2 - REV 2	3.22.19
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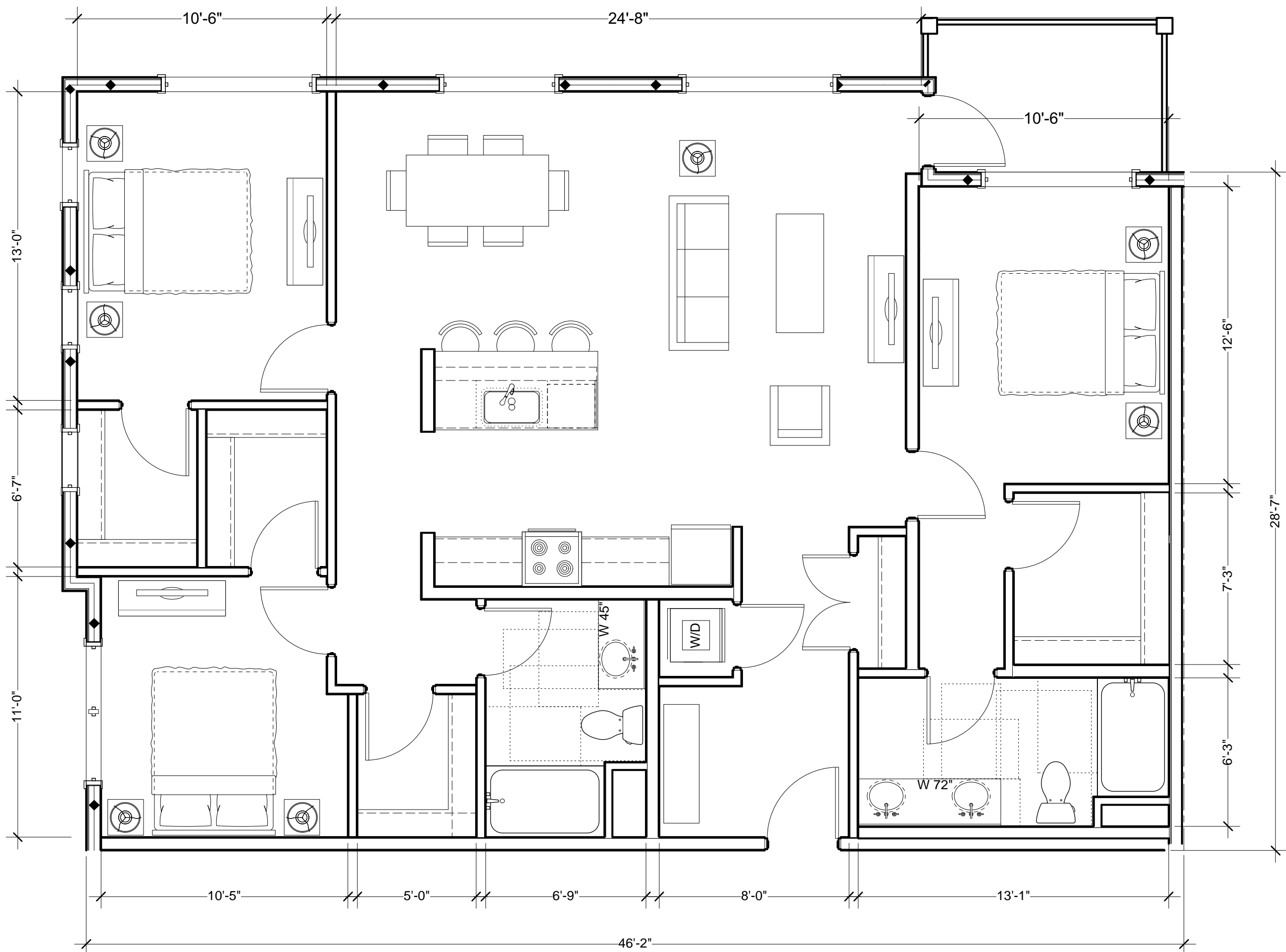
- GENERAL NOTES**
- A. COORDINATE WINDOW LOCATIONS AND SIZES WITH EXTERIOR ELEVATIONS.
- B. SAFETY GLAZING REQUIRED AT ALL DOORS CONTAINING GLAZING AND AT ALL LOCATIONS REQUIRED BY CBC.
- C. CBC SECTION 1134A LISTS 12 ITEMS FOR BATHROOMS IN TWO POSSIBLE COMBINATIONS FOR ADA COMPLIANCE. SHEET NOTES REFER TO ITEMS 1-12 OR ITEMS 8-12 LISTED BELOW:
1. TOILET, BATHING AND SHOWER FACILITIES SHALL COMPLY WITH SECTION 1134A.4.
2. BATHTUBS SHALL COMPLY WITH SECTION 1134A.5.
3. SHOWERS SHALL COMPLY WITH SECTION 1134A.6.
4. WATER CLOSETS SHALL COMPLY WITH SECTION 1134A.7.
5. LAVATORIES, VANITIES, MIRRORS, AND TOWEL FIXTURES SHALL COMPLY WITH SECTION 1134A.8.
6. WHERE BOTH A TUB AND SHOWER ARE PROVIDED IN THE BATHROOM, AT LEAST ONE SHALL BE MADE ACCESSIBLE. ADDITIONAL REQUIREMENTS APPLY TO DWELLING UNITS CONTAINING TWO OR MORE BATHROOMS WHEN A BATHTUB IS PROVIDED AS THE ACCESSIBLE BATHING FIXTURE.
7. WHEN TWO OR MORE LAVATORIES ARE PROVIDED, AT LEAST ONE SHALL BE MADE ACCESSIBLE AND COMPLY WITH SECTION 1134A.8.
WHERE TWO OR MORE BATHROOMS ARE PROVIDED WITHIN THE SAME DWELLING UNIT AND A BATHTUB IS INSTALLED TO COMPLY WITH OPTION 2, ITEM 6 IN ONE BATHROOM AND A SHOWER STALL IS PROVIDED IN A SUBSEQUENT BATHROOM, BOTH THE BATHTUB SELECTED TO COMPLY WITH OPTION 2, ITEM 6 AND AT LEAST ONE SHOWER STALL WITHIN THE DWELLING UNIT SHALL MEET ALL THE APPLICABLE ACCESSIBILITY REQUIREMENTS PROVIDED IN SECTION 1134A. (SEE SECTION 1134A.5 FOR BATHTUBS, OR SECTION 1134A.6 FOR SHOWERS.)
8. BATHROOMS SHALL BE PROVIDED WITH AN ACCESSIBLE ROUTE INTO AND THROUGH THE BATHROOM.
9. IF A DOOR IS PROVIDED, IT SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 1132A.5.
10. A MINIMUM 18-INCH CLEAR MANEUVERING SPACE SHALL BE PROVIDED ON THE SWING SIDE OF THE DOOR AT THE STRIKE EDGE OF THE DOOR.
11. SWITCHES, OUTLETS, AND CONTROLS SHALL COMPLY WITH SECTION 1142A.
12. REINFORCED WALLS TO ALLOW FOR THE FUTURE INSTALLATION OF GRAB BARS AROUND THE TOILET TUB AND SHOWER SHALL COMPLY WITH SECTIONS 1134A.5 FOR BATHTUBS, 1134A.6 FOR SHOWERS, AND 1134A.7 FOR WATER CLOSETS. GRAB BARS SHALL COMPLY WITH SECTION 1127A.4.
D. PROVIDE A MINIMUM 32" CLEAR OPENING AT ALL UNIT PASSAGE DOORS. SEE 13/A10.30.
E. CBC SECTION 1132A.5.1, THE FLOOR OR LANDING ON THE DWELLING UNIT SIDE OF THE PRIMARY ENTRY DOOR AND ANY REQUIRED EXIT DOOR SHALL HAVE A MINIMUM LENGTH OF NOT LESS THAN 42" MEASURED AT A RIGHT ANGLE TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. IF A CLEAR OPENING WIDTH OF NOT LESS THAN 34" IS PROVIDED, A 30" LENGTH IS ACCEPTABLE. SECTION 1126A.3 SHALL APPLY TO MANEUVERING CLEARANCES AT THE SIDE OF THE DOOR EXPOSED TO COMMON OR PUBLIC USE SPACES.
F. EVERY BEDROOM, FLOORS 2-3, IN TYPE VA CONSTRUCTION TO HAVE CBC COMPLIANT EGRESS WINDOW. TOP FLOOR BEDROOM WINDOWS WILL BE SIMILAR TO STACKED WINDOWS BELOW.

ISSUE	DATE
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SPAR RESUBMIT 1	6.11.18
SPAR RESUBMIT 2	1.31.19
SPAR 2 - REV 1	2.26.19
SPAR 2 - REV 2	3.22.19
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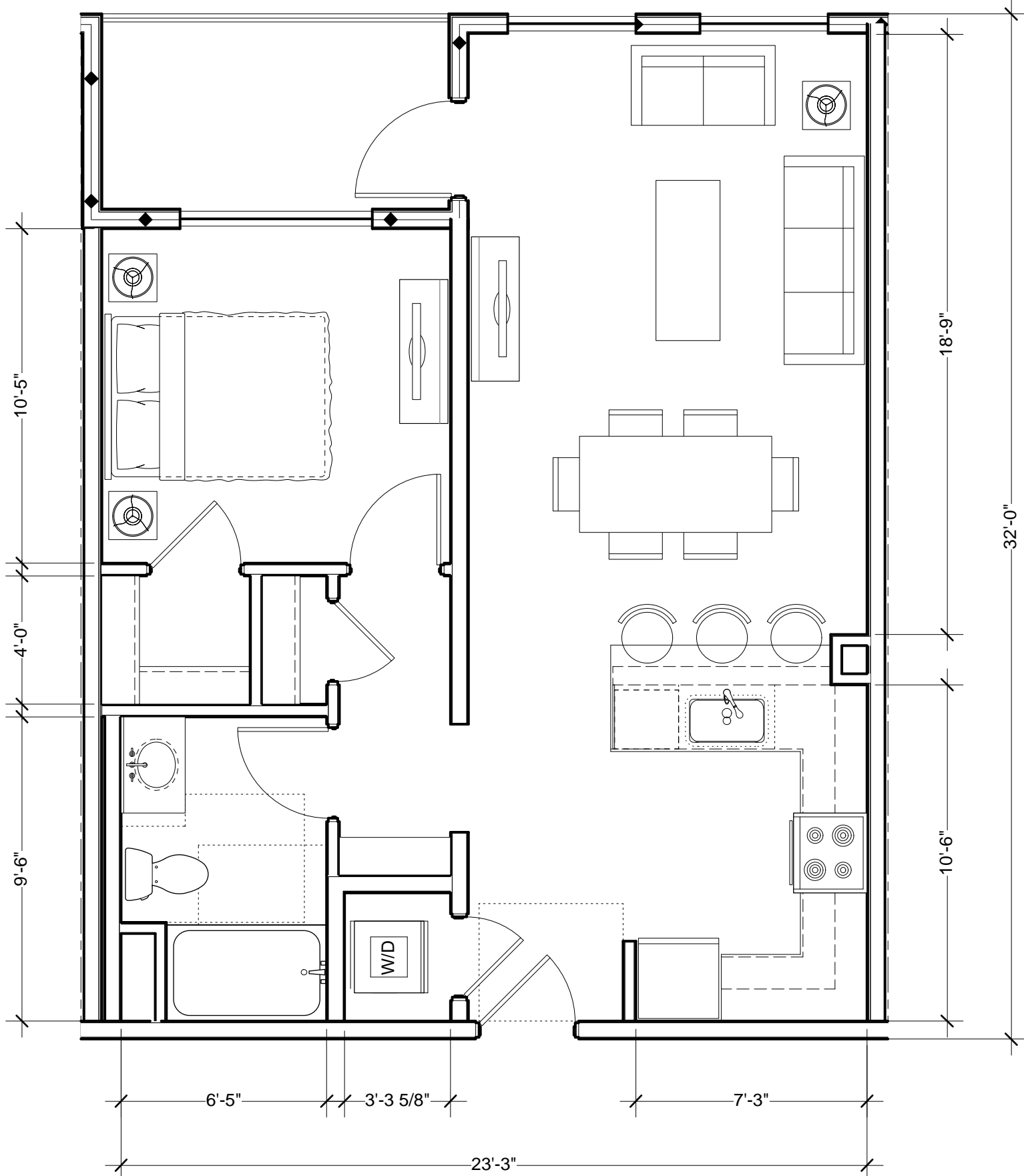
STAMP
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UNIT PLANS

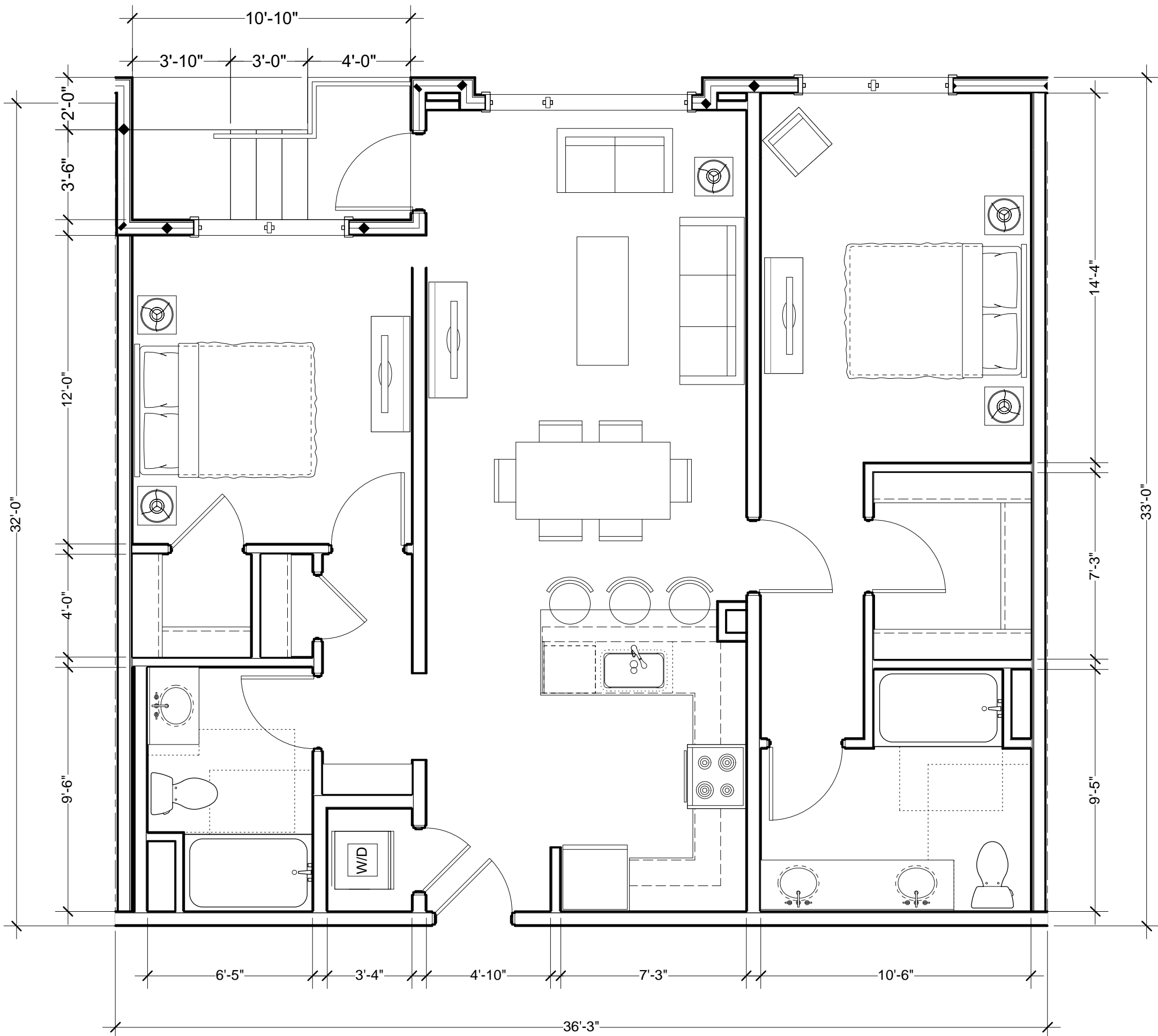
SHEET TITLE	1/4"=1'-0"
SCALE	
PROJECT NO.	1618
DRAWN BY	XXX
SHEET SIZE	30 x 42



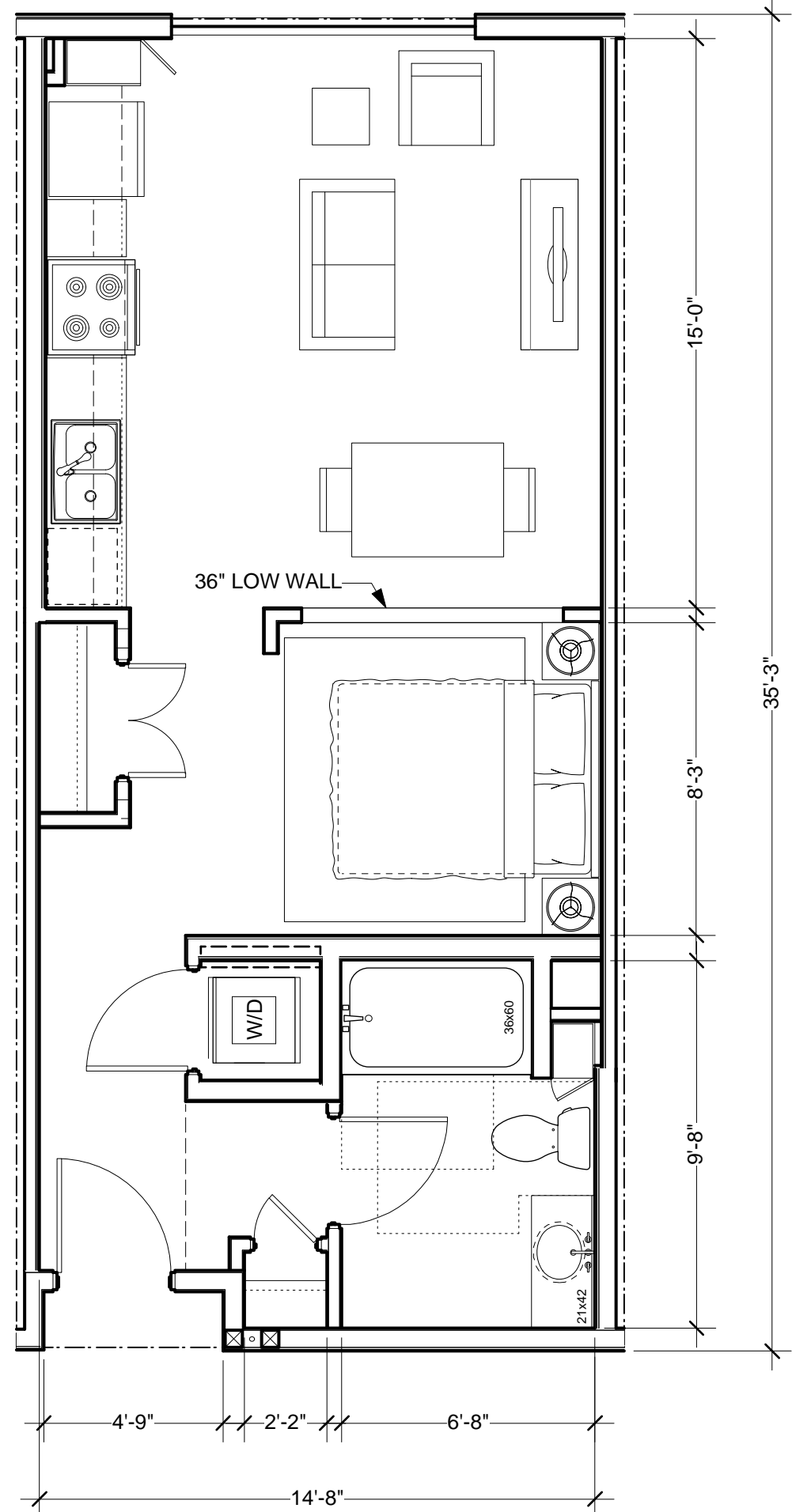
UNIT TYPE C 4
1/4" = 1'-0"



UNIT TYPE A 2
1/4" = 1'-0"



UNIT TYPE B 3
1/4" = 1'-0"



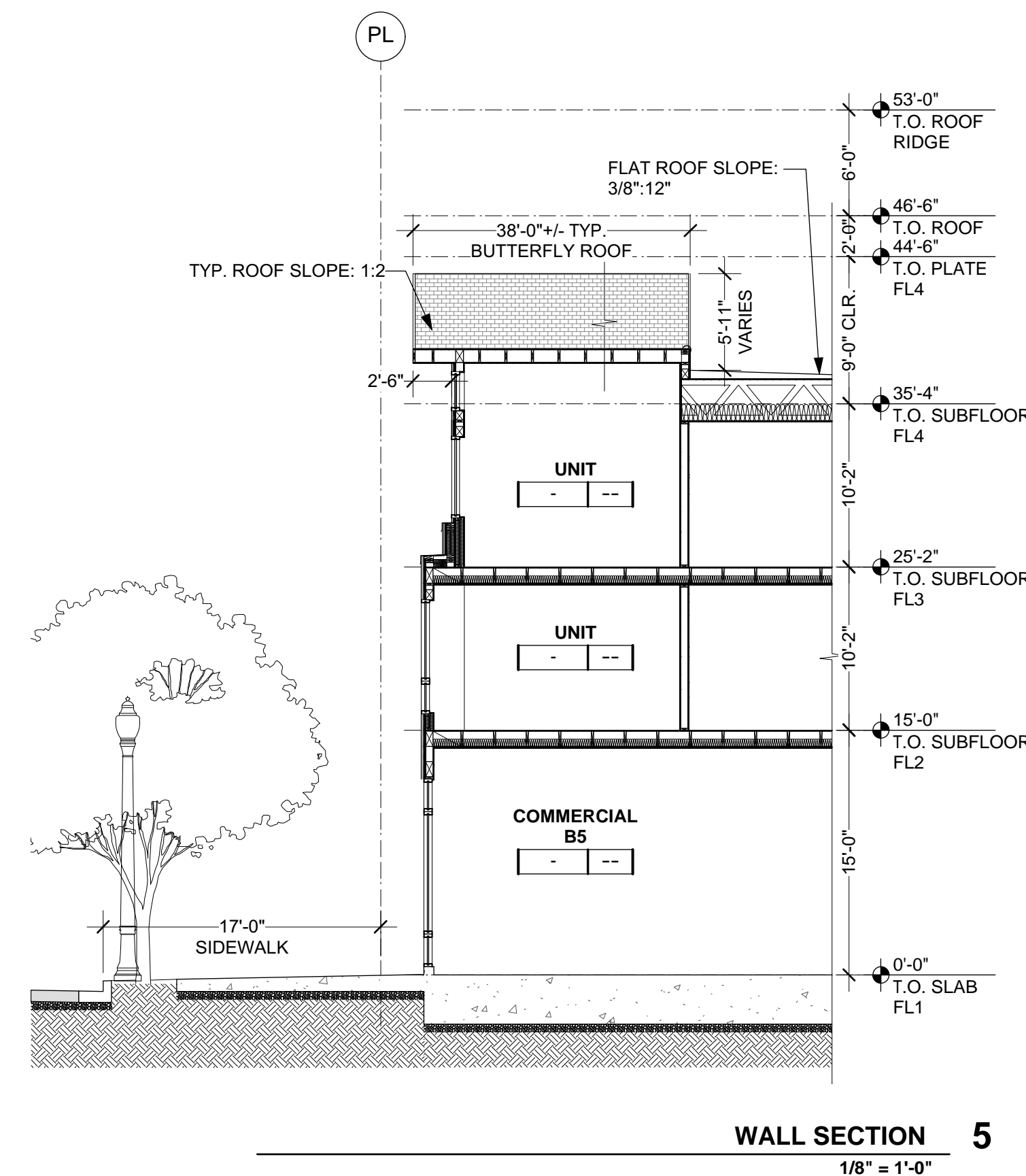
UNIT TYPE S 1
1/4" = 1'-0"

ISSUE	DATE
SPAR SUBMIT	7.28.17
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SPAR RESUBMIT 2	1.31.19
SPAR 2 - REV 1	2.26.19
SPAR 2 - REV 2	3.22.19

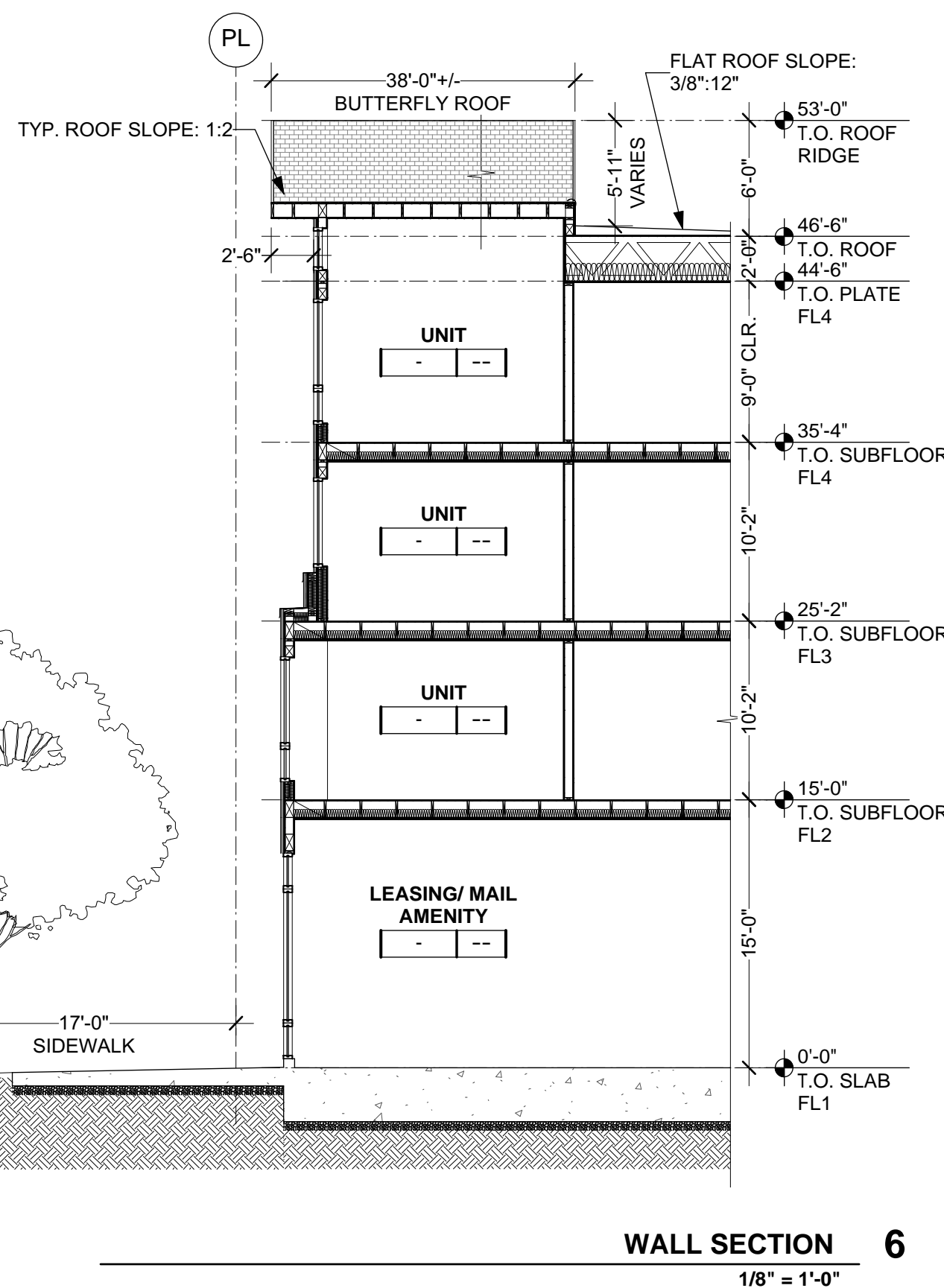
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**BUILDING
SECTIONS**

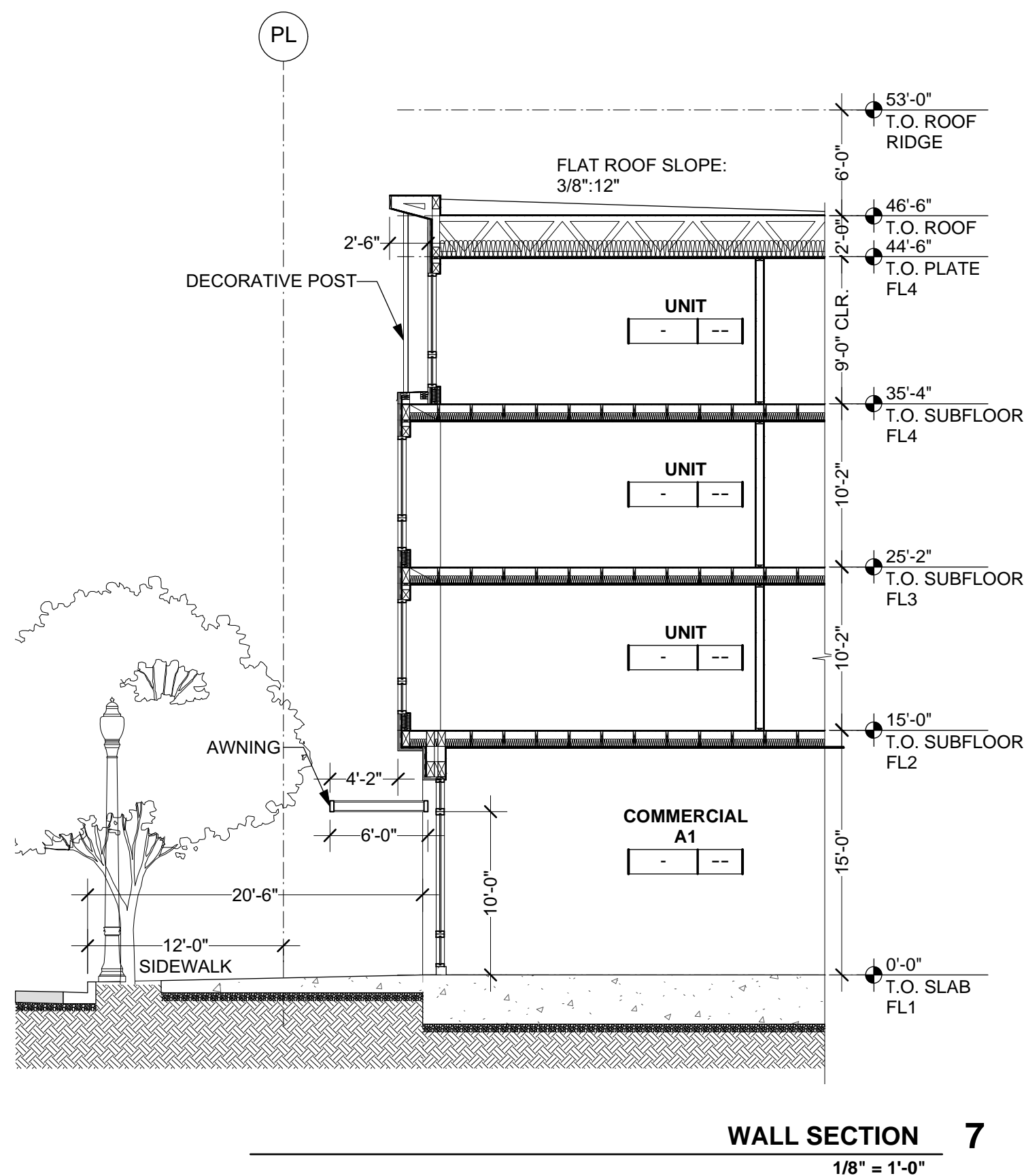
SHEET TITLE	1/8" = 1'-0"
SCALE	1/8" = 1'-0"
PROJECT NO.	1618
DRAWN BY	NS
SHEET SIZE	30 x 42



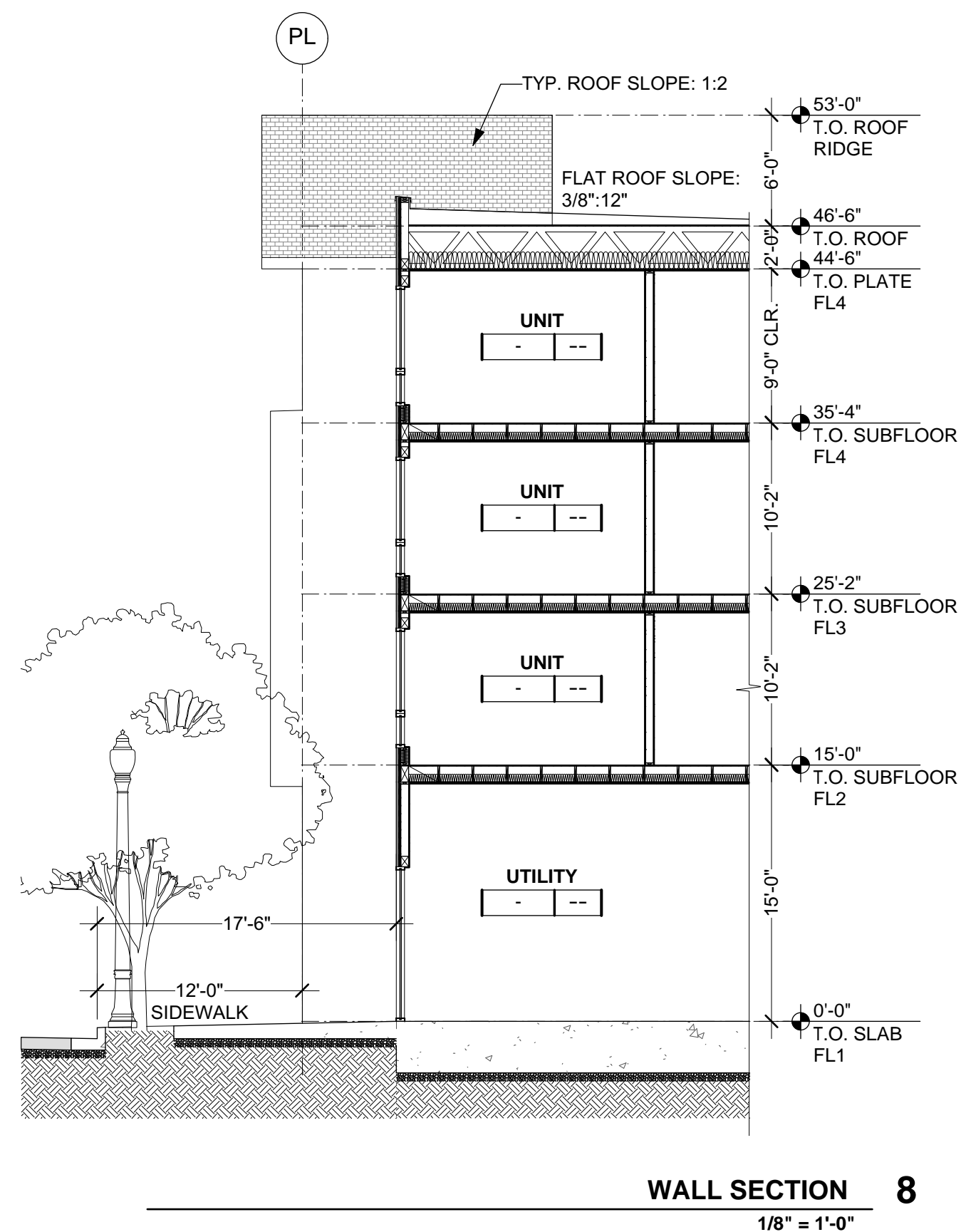
WALL SECTION 5
1/8" = 1'-0"



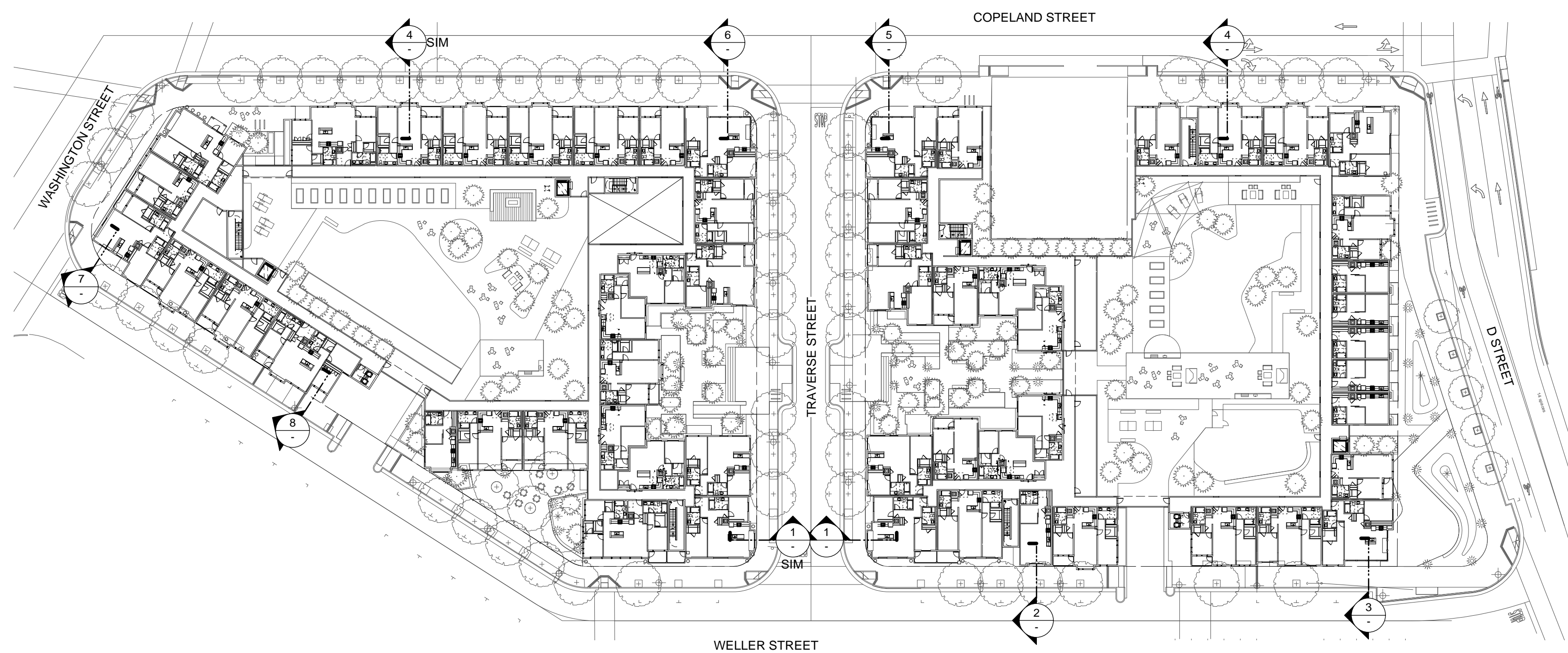
WALL SECTION 6
1/8" = 1'-0"



WALL SECTION 7
1/8" = 1'-0"

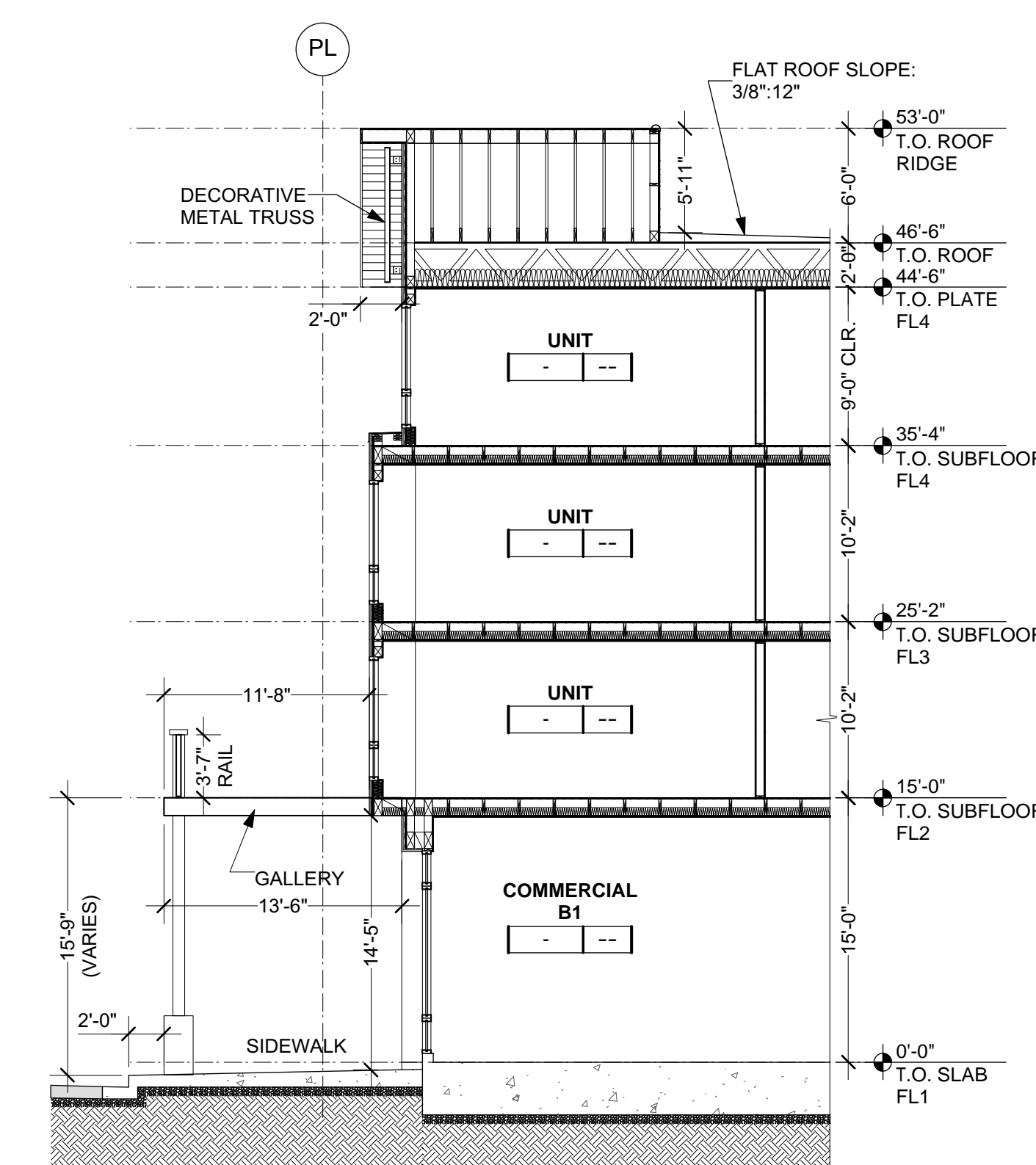


WALL SECTION 8
1/8" = 1'-0"

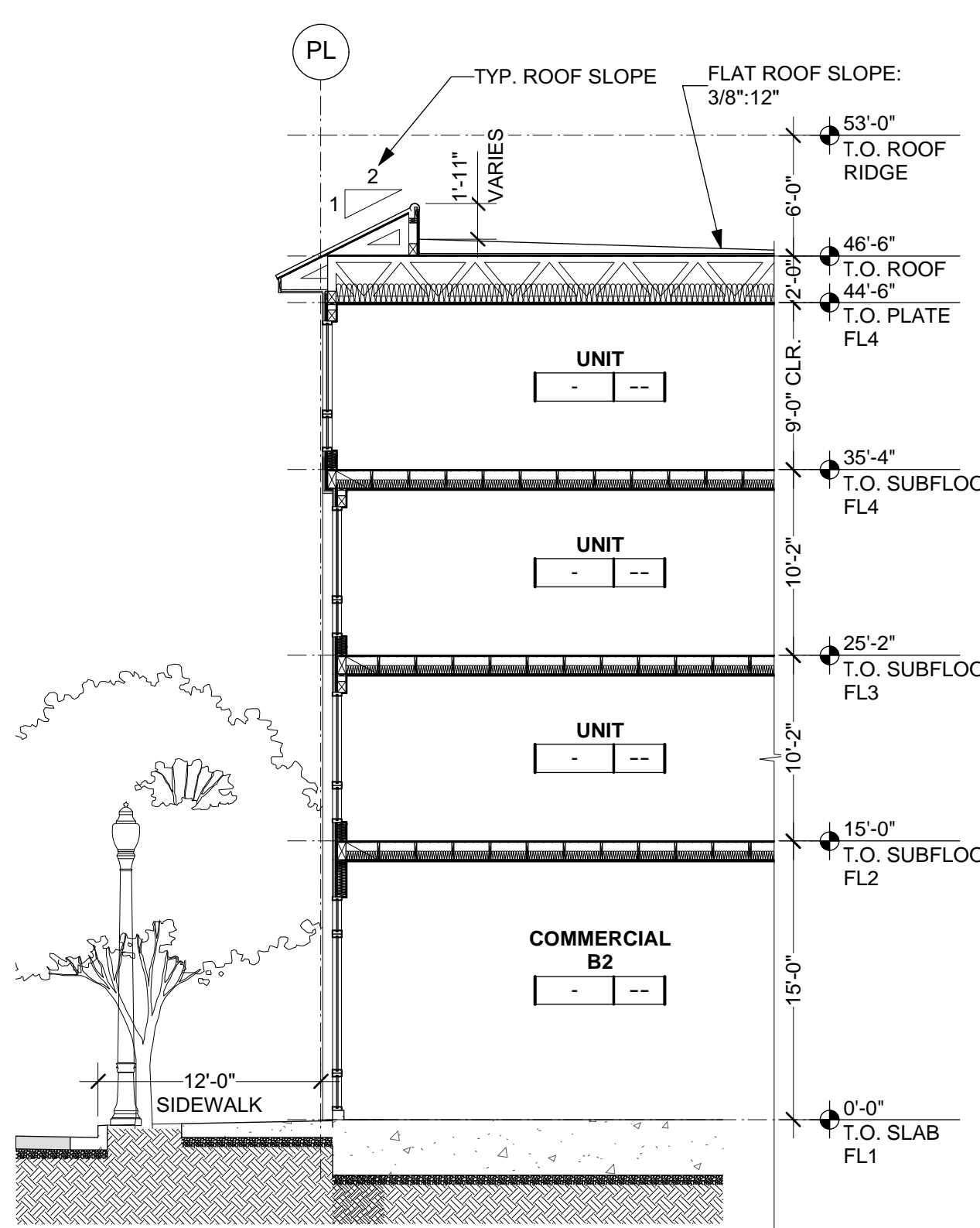


GENERAL NOTES

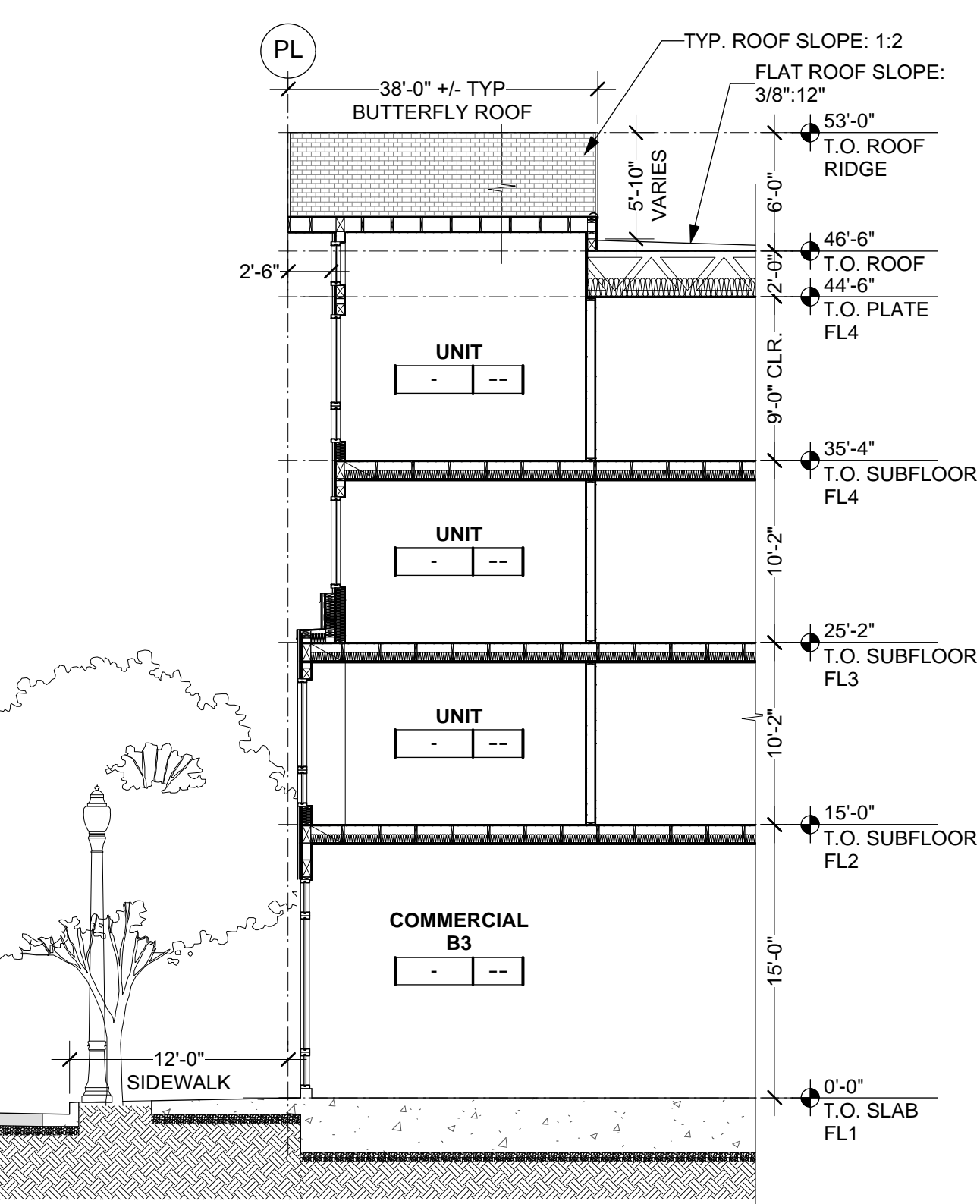
- A. TYPICAL FLAT ROOF SLOPE TO BE 3/8" FOOT
- B. TYPICAL SLOPED ROOF TO BE 1:2 OR LESS
- C. WALL SECTIONS HAVE BEEN PROVIDED AT LOCATIONS WHERE FIRE AERIAL APPARATUS OCCURS. REFER TO SHEET C-18 FOR MORE INFORMATION
- D. PL "PROPERTY LINE" REPRESENTS PROPERTY LINE AND/OR SIDEWALK EASEMENT



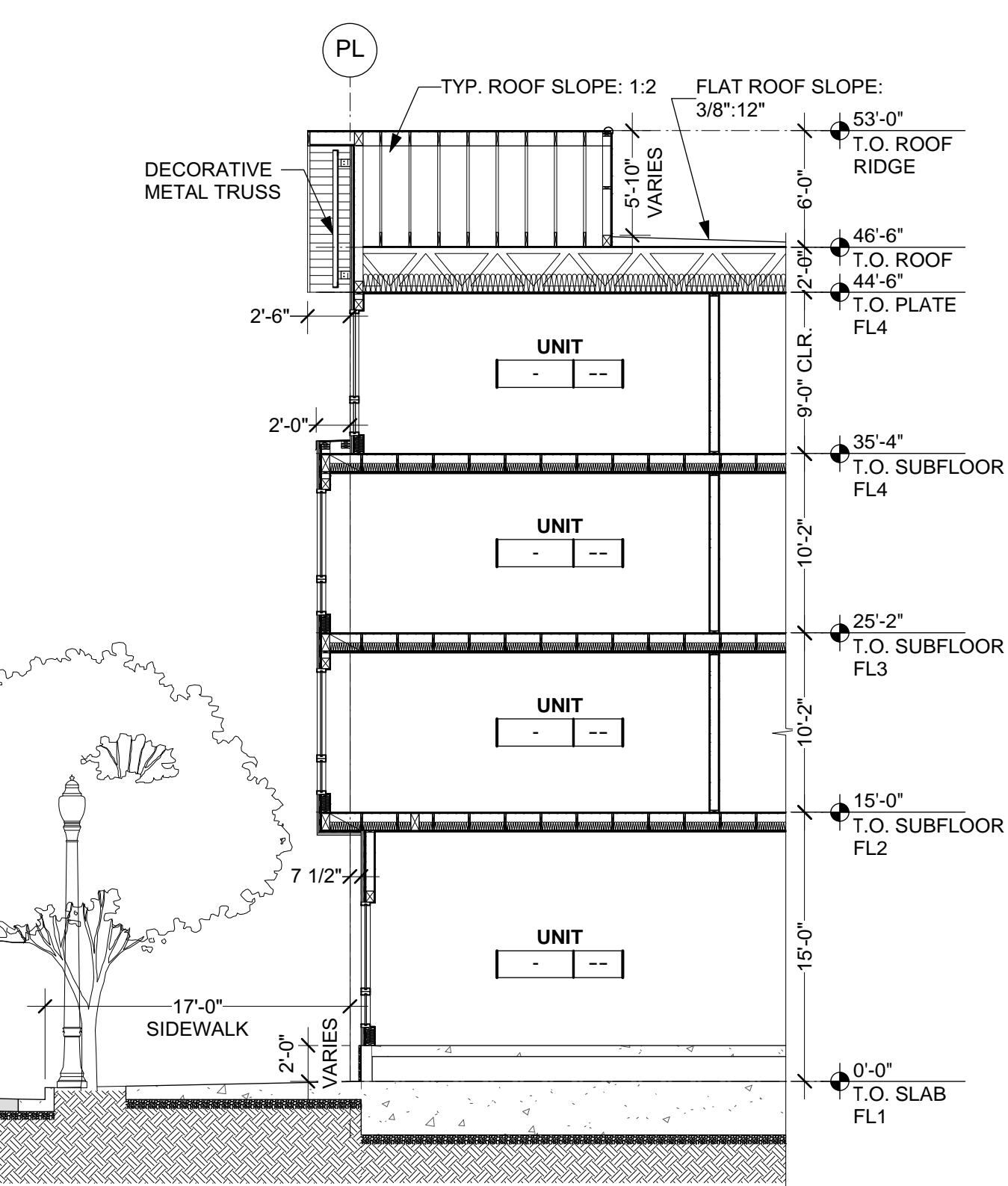
WALL SECTION 1
1/8" = 1'-0"



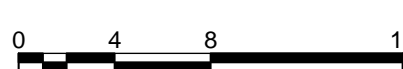
WALL SECTION 2
1/8" = 1'-0"



WALL SECTION 3
1/8" = 1'-0"



WALL SECTION 4
1/8" = 1'-0"



ISSUE	DATE
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SPAR 2 - REV 2	3.22.19
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OF THE ARCHITECT.

**EXTERIOR
DETAILS**

SHEET TITLE
AS NOTED
PROJECT NO. 1618 DRAWN BY: XXX
SHEET SIZE: 30" x 42"

