

SPIRIT SENIOR HOUSING

PLANNING REVISIONS - JULY 11, 2023

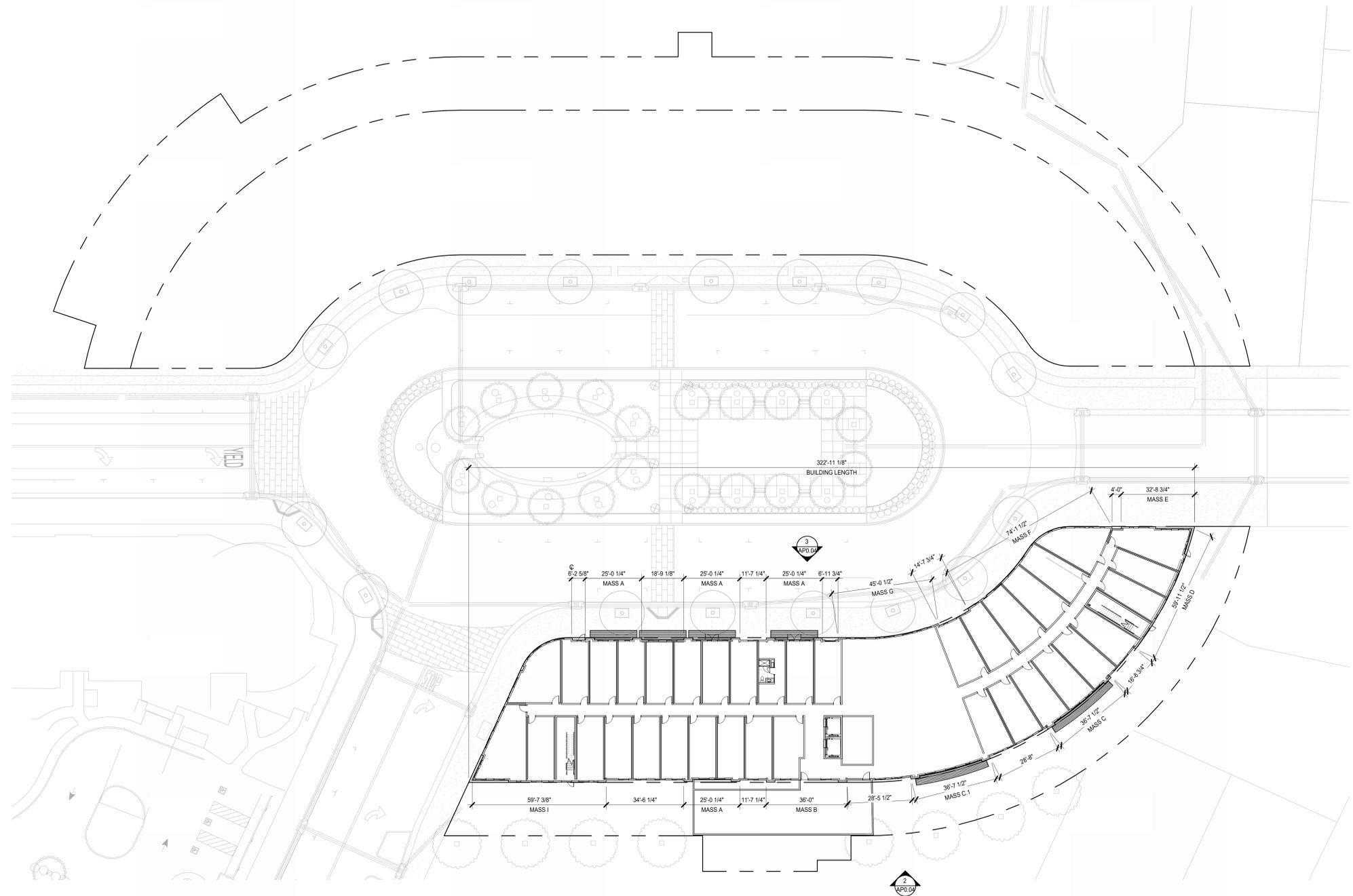
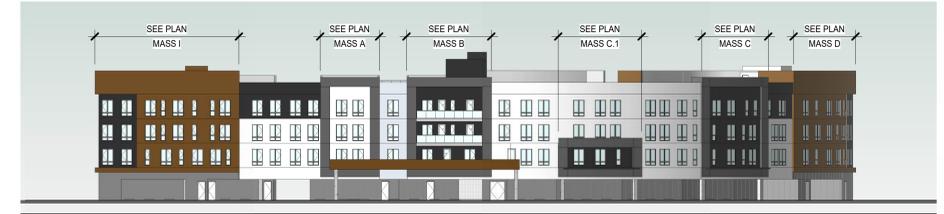


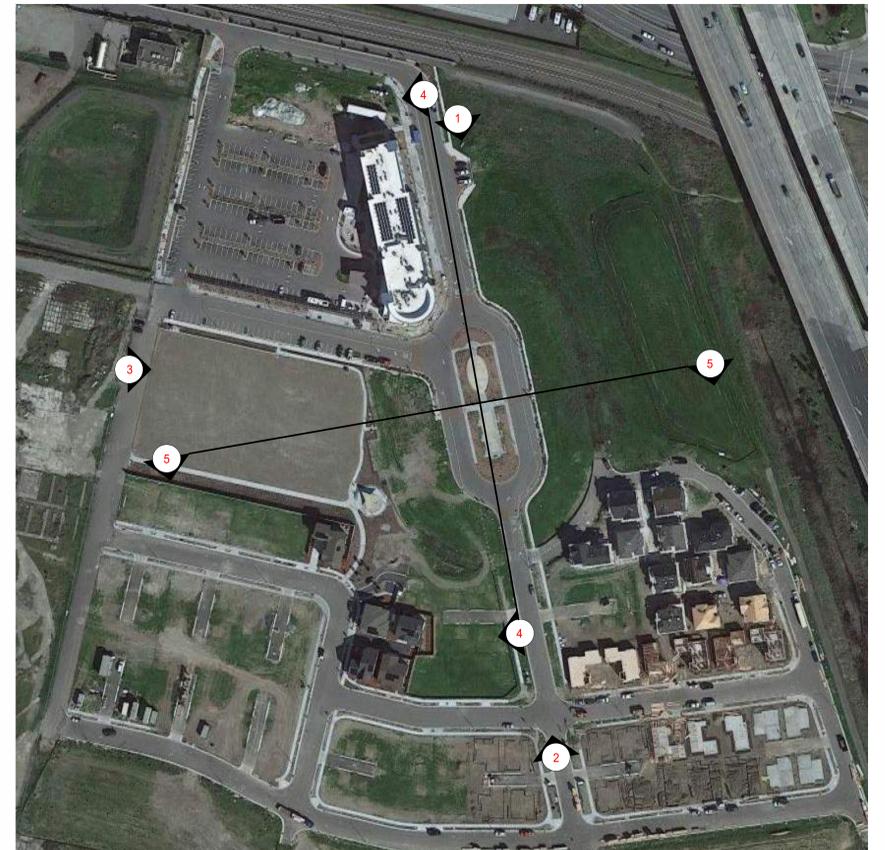
BDE
ARCHITECTURE

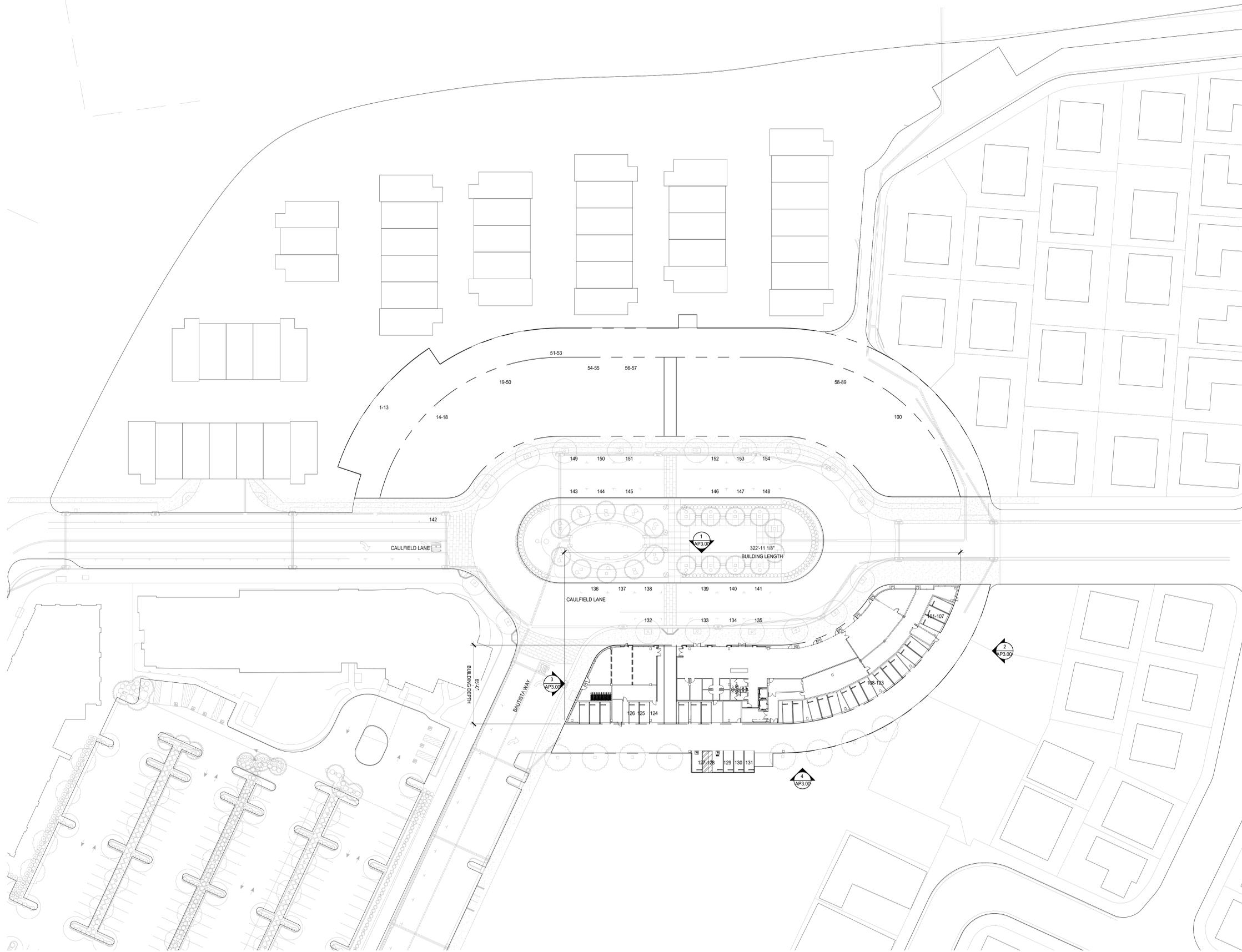
**500 HOPPER STREET (LOT 5)
PETALUMA, CA**

Spirit
LIVING GROUP





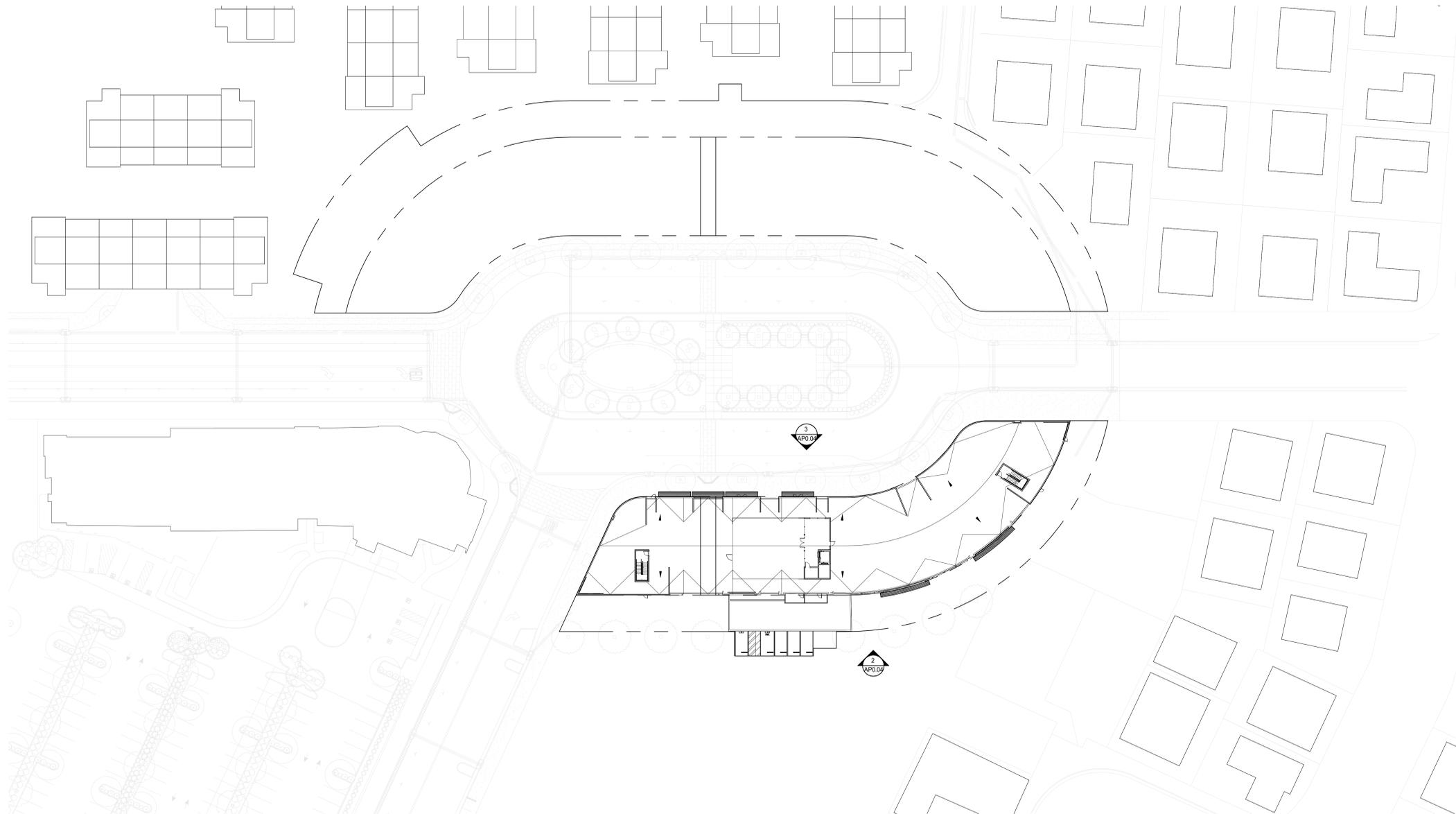
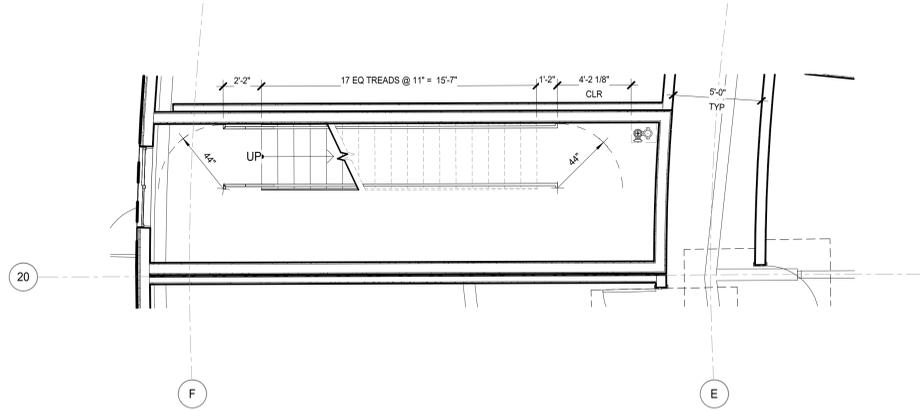




- GENERAL NOTES**
- A. SITE PLAN IS FOR GENERAL BUILDING ORIENTATION AND ENLARGED PLAN REFERENCES.
 - B. SEE JOINT TRENCH DRAWINGS FOR ON/OFF-SITE DRY UTILITY PLANS.
 - C. SEE CIVIL DRAWINGS FOR ON/OFF-SITE UTILITY PLANS, IMPROVEMENTS, GRADING, DRAINAGE AND STORM WATER TREATMENT.
 - D. SEE LANDSCAPE DRAWINGS FOR SITE FINE GRADING, PAVING PLAN, PLANTING PLAN, AND IRRIGATION PLAN.
 - E. SEE A0.3X FOR BUILDING AREA CALCULATIONS.
 - F. SEE A0.4X FOR EGRESS CALCULATIONS & DIAGRAMS.
 - G. UNIT PLANS SHOWN HERE ARE DIAGRAMMATIC REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
 - H. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, 'XXX' = 0'-0".
 - I. MINIMUM SLOPE AT FLAT ROOF SHALL BE 3/8"/FT. U.O.N.
 - J. REFER TO THE 1/8" AND 1/4" PLANS FOR THE DOOR TAGS. REFER TO DOOR SCHEDULE INDICATING ALL REQUIRED RATED DOOR LOCATIONS.
 - K. AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
 - L. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE (1) CONTINUOUSLY ACCESSIBLE, (2) HAVE A MAXIMUM 1/2" CHANGES IN ELEVATION, OR PROVIDE CURB RAMPS COMPLYING WITH CBC 1112A OR 115-405; (3) ARE MINIMUM 48" IN WIDTH; AND (4) WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 1114A OR 11B-405; PER CBC 1113A & 11B-202.4

GENERAL NOTES

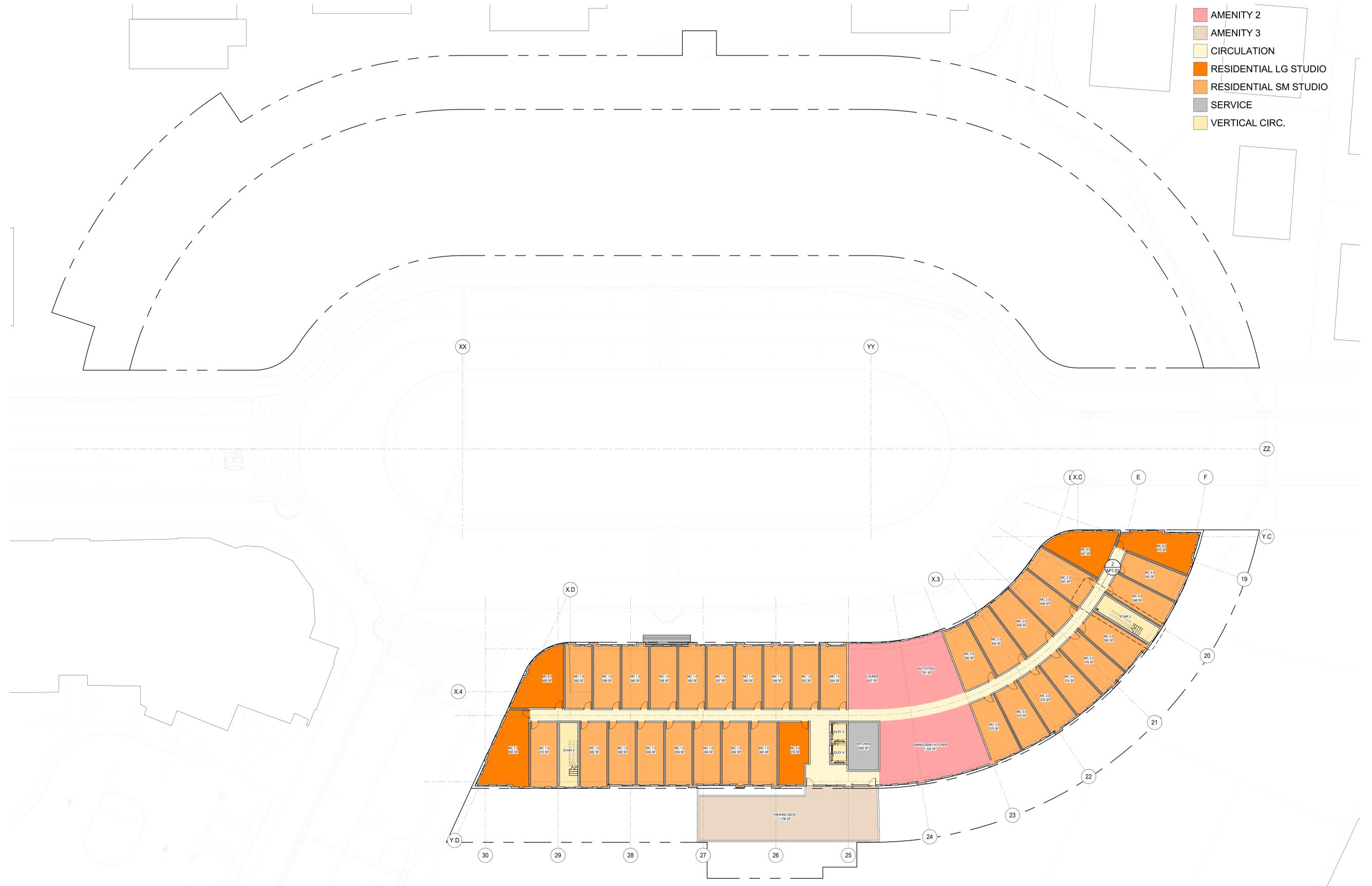
- A. SITE PLAN IS FOR GENERAL BUILDING ORIENTATION AND ENLARGED PLAN REFERENCES.
- B. SEE JOINT TRENCH DRAWINGS FOR ON/OFF-SITE DRY UTILITY PLANS.
- C. SEE CIVIL DRAWINGS FOR ON/OFF-SITE UTILITY PLANS, IMPROVEMENTS, GRADING, DRAINAGE AND STORM WATER TREATMENT.
- D. SEE LANDSCAPE DRAWINGS FOR SITE FINE GRADING, PAVING PLAN, PLANTING PLAN, AND IRRIGATION PLAN.
- E. SEE A0.3X FOR BUILDING AREA CALCULATIONS.
- F. SEE A0.4X FOR EGRESS CALCULATIONS & DIAGRAMS.
- G. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- H. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, XXX' = 0'-0".
- I. MINIMUM SLOPE AT FLAT ROOF SHALL BE 3/8"/FT. U.O.N.
- J. REFER TO THE 1/8" AND 1/4" PLANS FOR THE DOOR TAGS. REFER TO DOOR SCHEDULE INDICATING ALL REQUIRED RATED DOOR LOCATIONS.
- K. AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
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PLANNING LEGEND

- AMENITY 2
- AMENITY 3
- CIRCULATION
- RESIDENTIAL LG STUDIO
- RESIDENTIAL SM STUDIO
- SERVICE
- VERTICAL CIRC.

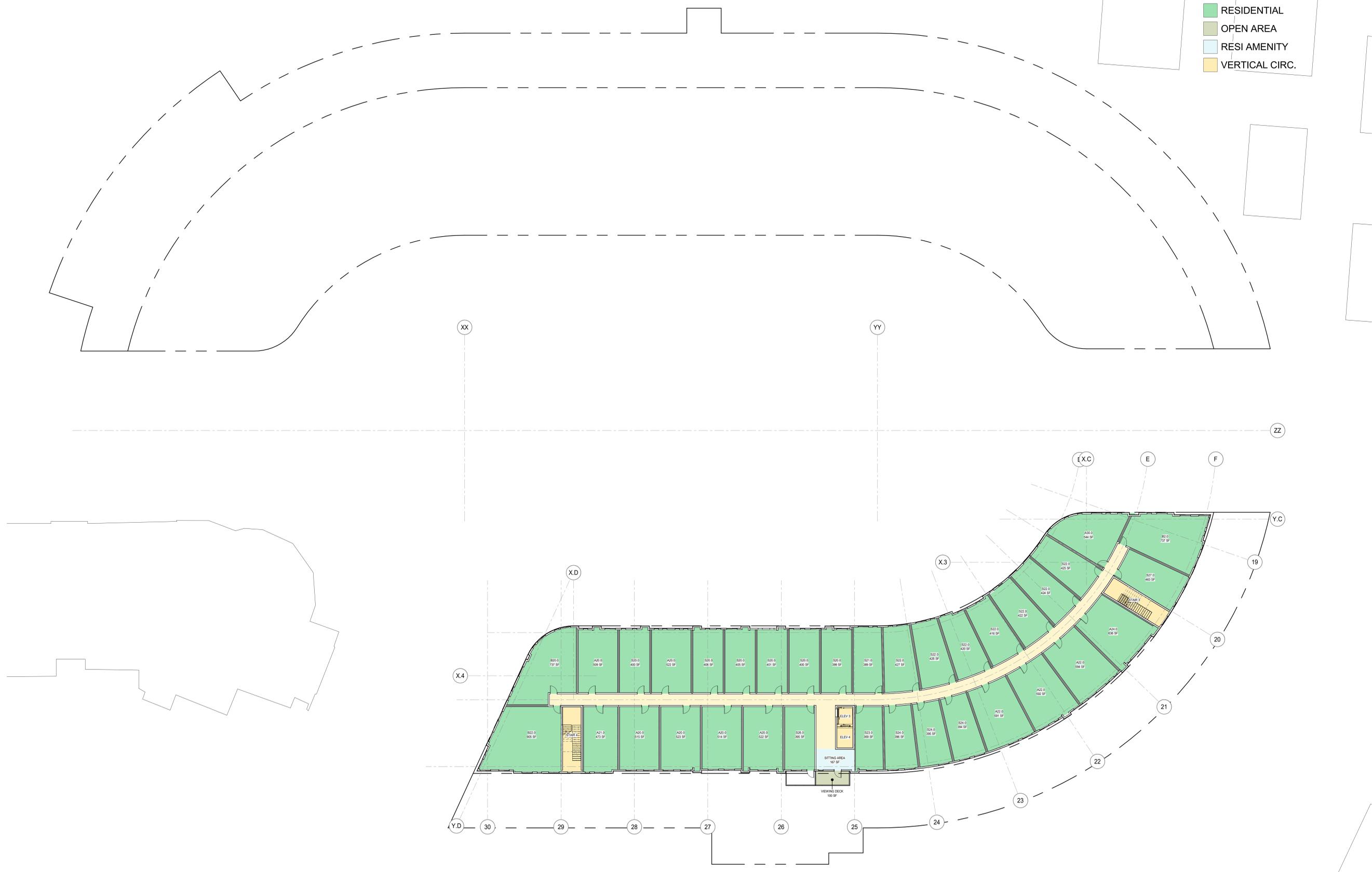
LIVING GROUP



PLANNING LEGEND

- CIRCULATION
- RESIDENTIAL
- OPEN AREA
- RESI AMENITY
- VERTICAL CIRC.

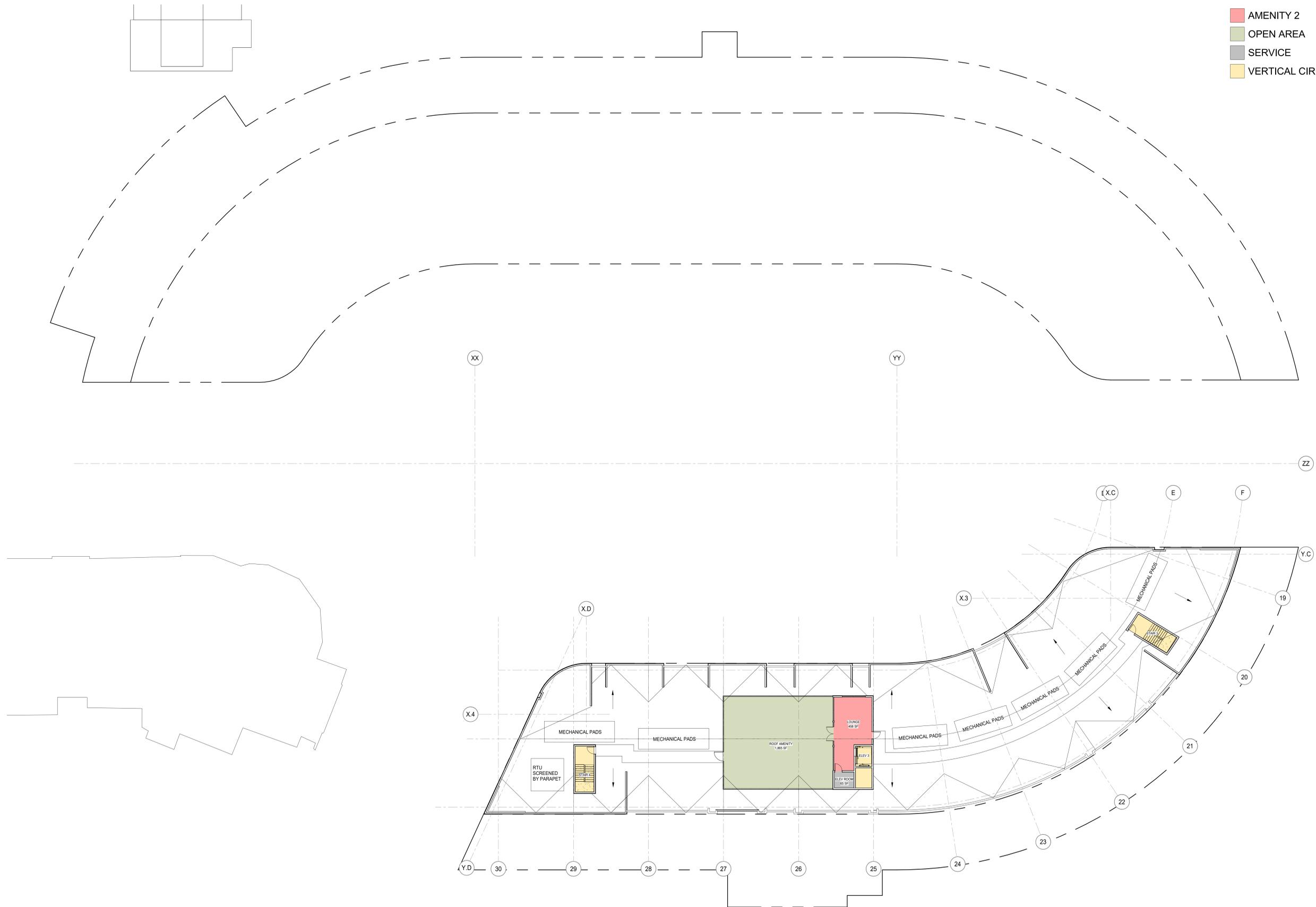
LIVING GROUP

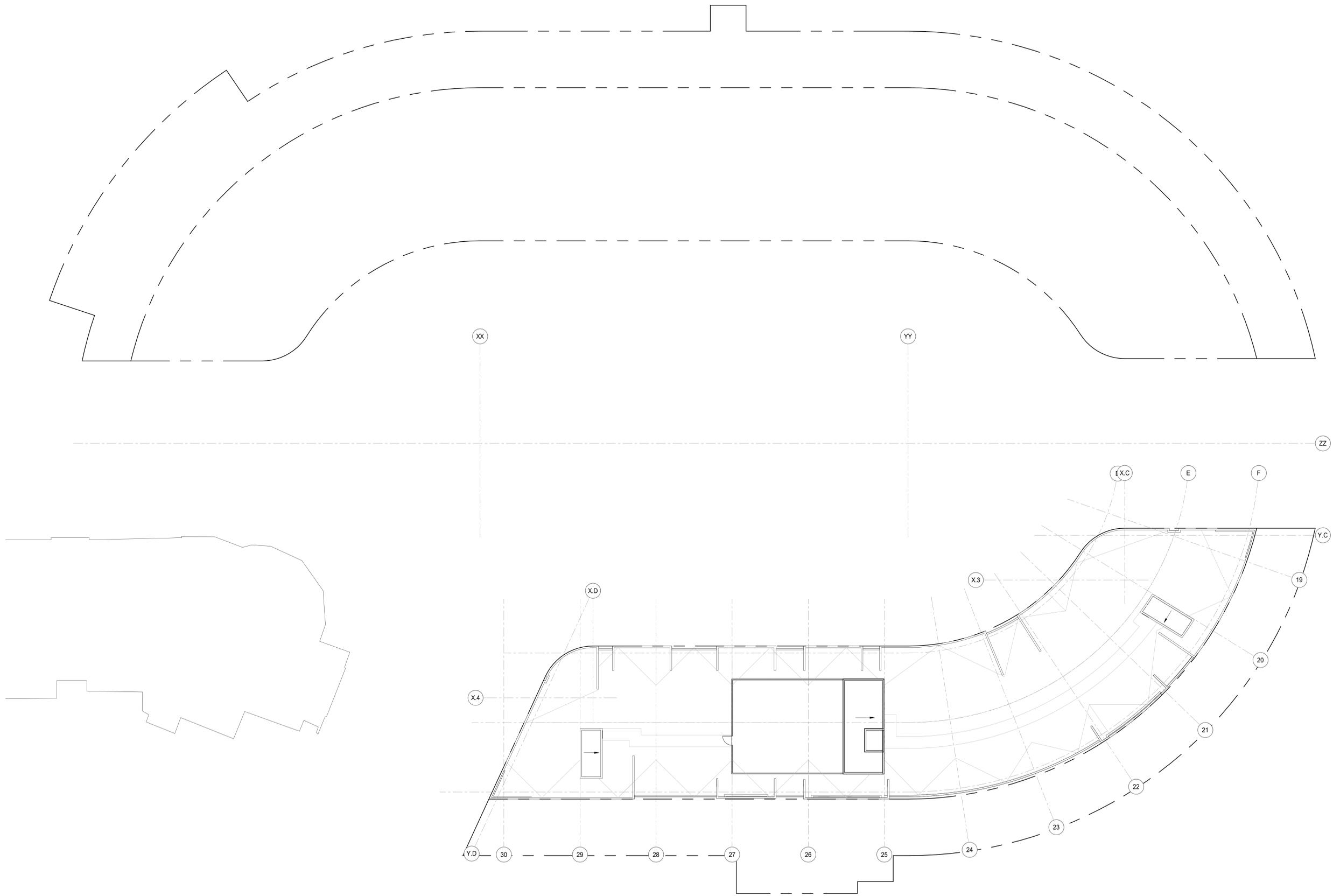


PLANNING LEGEND

- AMENITY 2
- OPEN AREA
- SERVICE
- VERTICAL CIRC.

LIVING GROUP

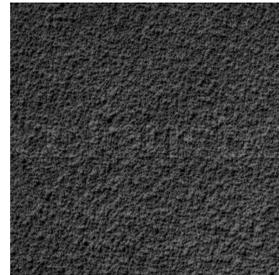
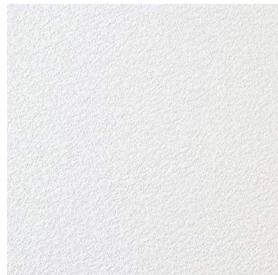




GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL. TYP. (FOR TYPE III OR TYPE V) FOR METAL-FRAMED BUILDINGS THE DIMENSIONS ARE TO THE FACE OF DRYWALL.
- B. SITE ELEVATION HEIGHT OF XXXXX = 0.0' DATUM.
- C. SEE A0.2X FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
SEE SHEET A10.X FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
- D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
- E. G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
- F. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER FRAMED VOIDS.
- G. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN. DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 1/4"1'-0" TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- I. G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- J. CONCRETE CURBS SHALL BE INCLUDED AS INDICATED IN ARCHITECTURAL DRAWINGS IN ADDITION TO CURBS SHOWN ON STRUCTURAL DRAWINGS.
- K. THRESHOLDS MUST BE COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS, MAX 1/2" HEIGHT.
- L. PROVIDE BUILT-UP EPOXY GROUT LEVELING COMPOUND AT DECKS AS REQ'D TO PROVIDE LEVEL SURFACE AND 1/2" MAX THRESHOLD. FEATHER LEVELING COMPOUND INTO DECK SURFACE AT MAX. 2% SLOPE.
- M. THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- N. ACOUSTIC SEALANT WHERE INDICATED IN DRAWINGS AND SPECS SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE CONTRACT DOCUMENTS, AND IN THE ACOUSTICAL REPORTS.
- O. G.C. TO COORDINATE AND VERIFY ELEVATION OF TOP OF SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINISH SIDEWALK IS LEVEL W/ T.O.S.
- P. ALL WINDOWS U.O.N. SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
- Q. ADDRESS SIGNAGE ON BUILDING ELEVATION SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND WITH A MINIMUM STROKE WIDTH OF 1/2" WIDE. INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2
- R. ALL EXTERIOR MATERIALS RETURN TO THE NEXT INSIDE CORNER U.O.N.

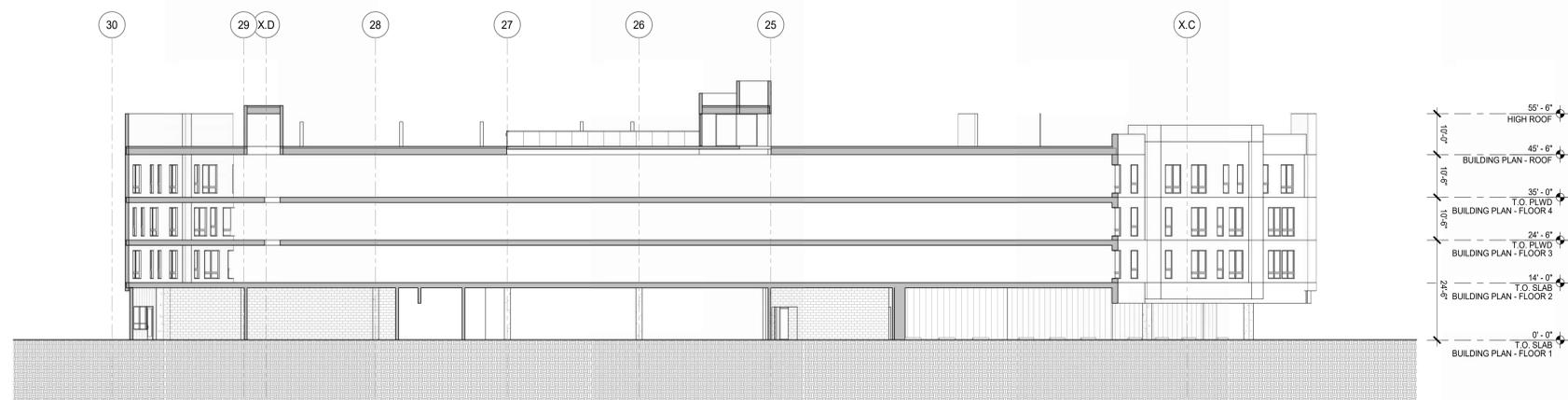
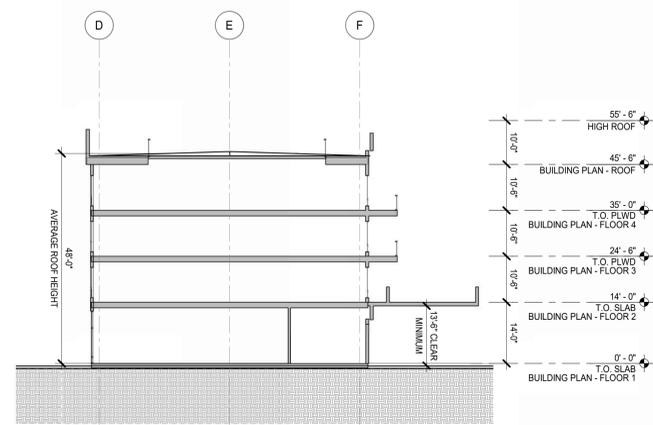




GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- B. SITE ELEVATION HEIGHT OF 115.5' = 0'-0" DATUM.
SEE A0.2 FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
- C. SEE SHEET A10.0 FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
- D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
- E. G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
- F. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- G. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 3/8" FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2408 AND AS REQUIRED BY CHAPTER 7.
- I. G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- J. CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
- K. THRESHOLDS MUST BE ADA COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS.
- L. CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND ADA COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND ADA SHOWERS SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE G.C. SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD AND ARE EXPECTED TO ADD TO THE GMP THESE REQUIREMENTS AND COSTS.
- M. THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- N. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
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- P. ALL WINDOWS SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
- Q. ADDRESS SIGNAGE ON BUILDING ELEVATION ARE TO BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND A MINIMUM OF 1/2" WIDE, INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2

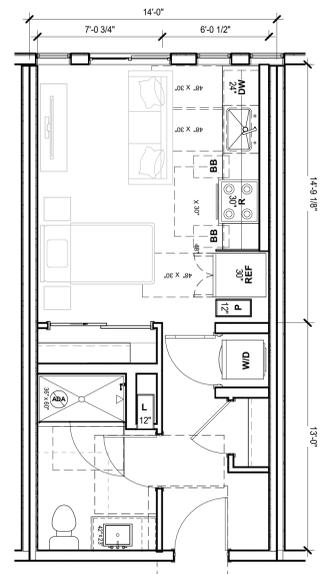
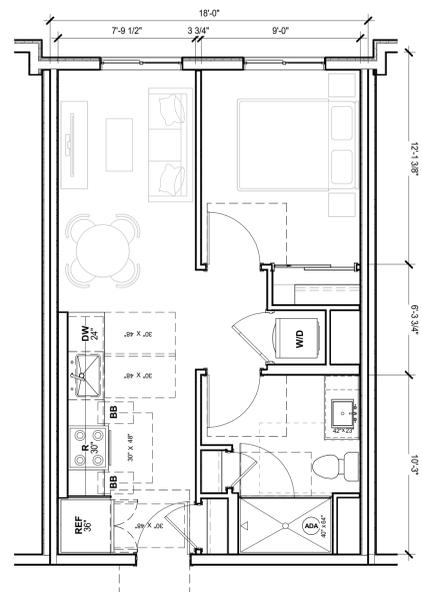
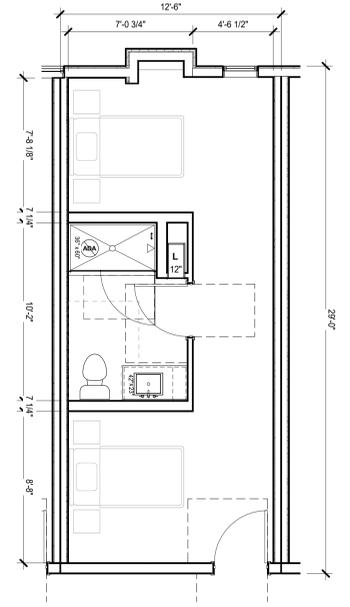
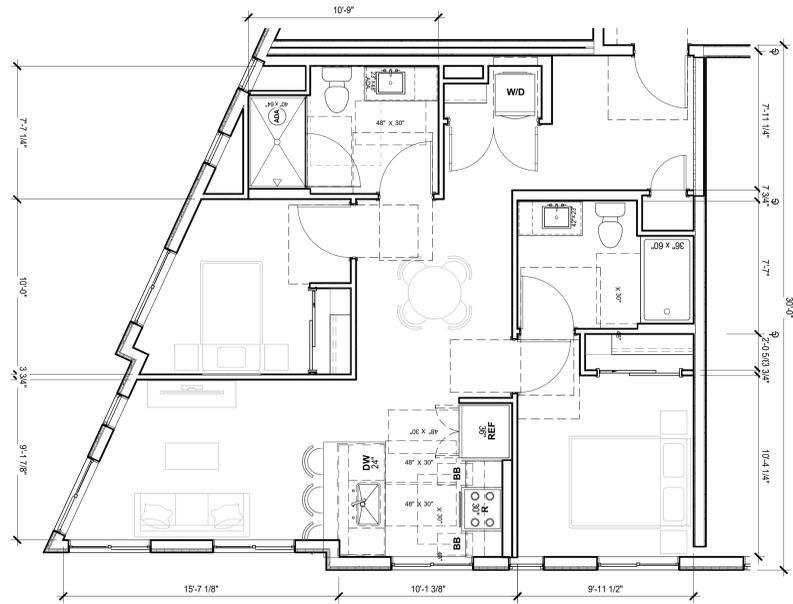
LIVING GROUP

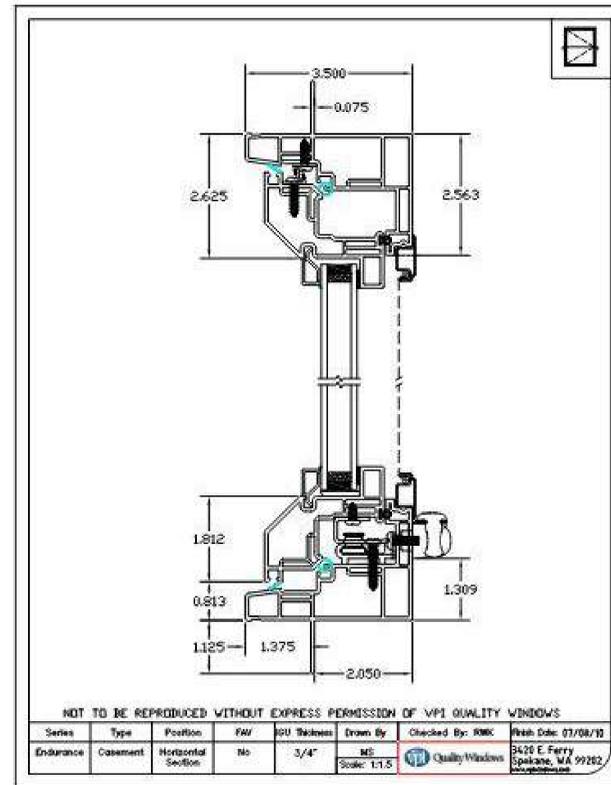
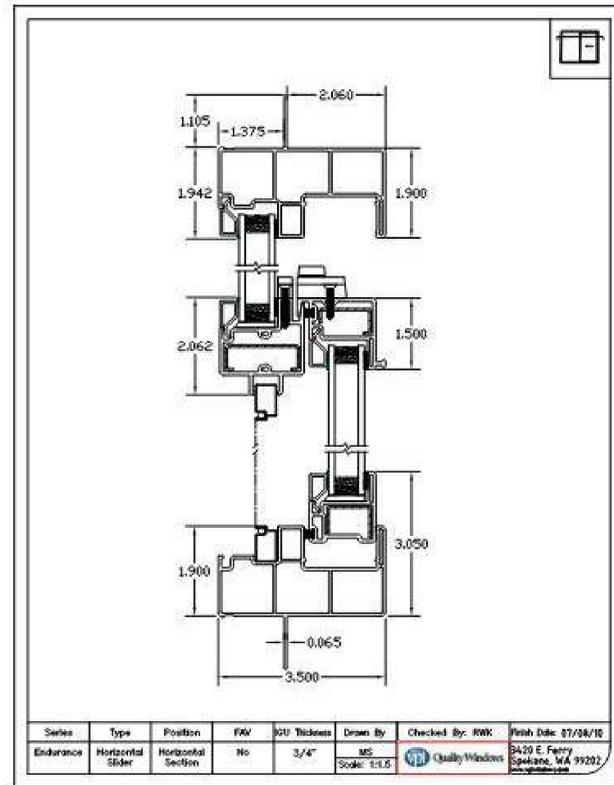
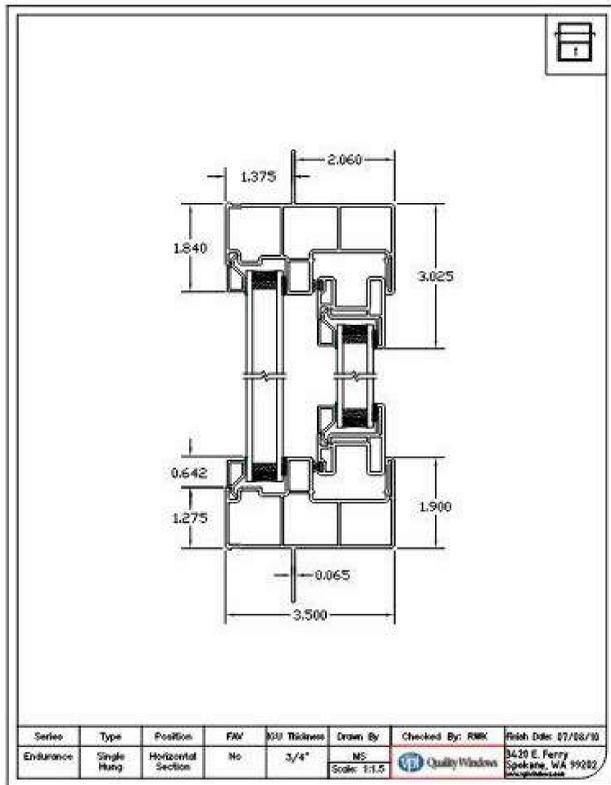
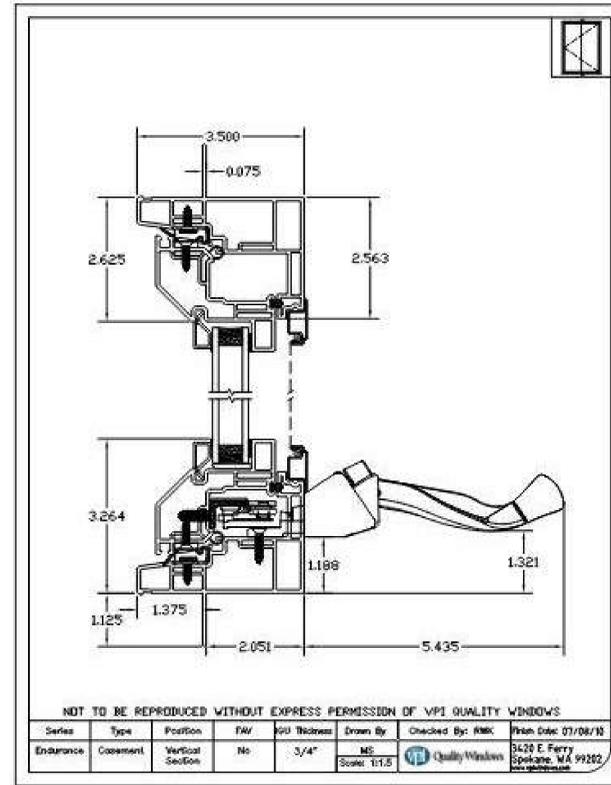
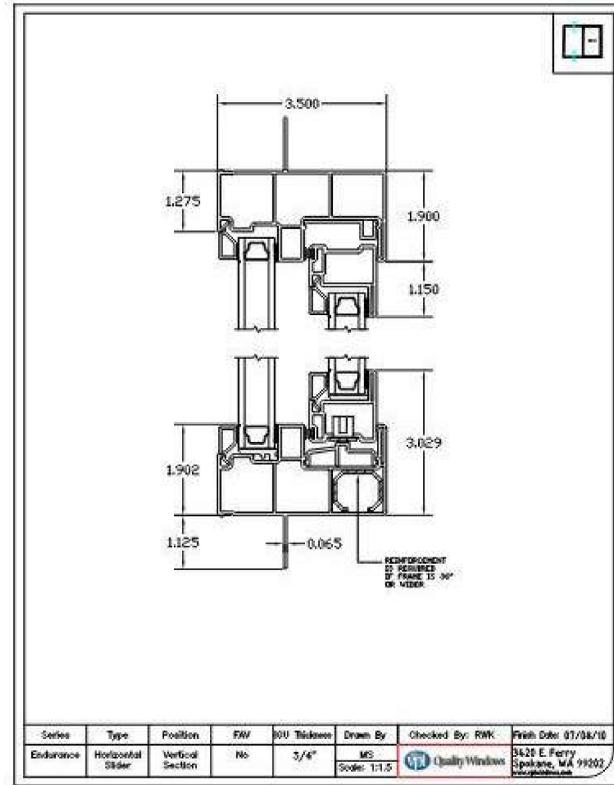
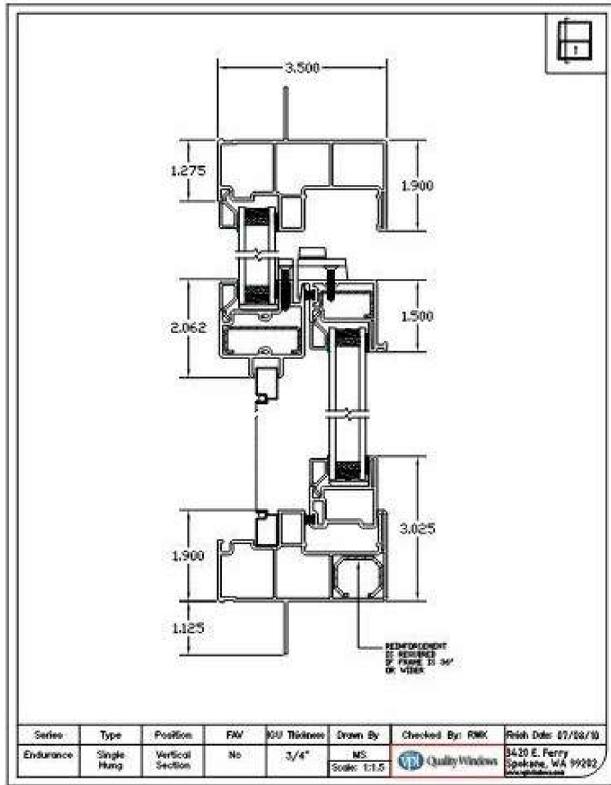


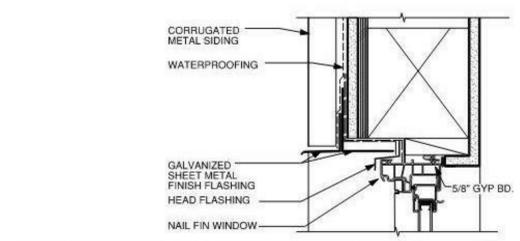




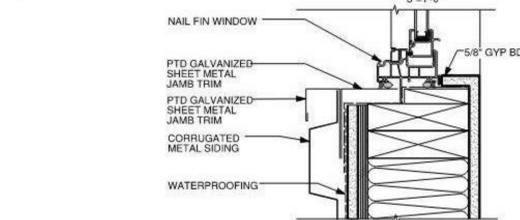




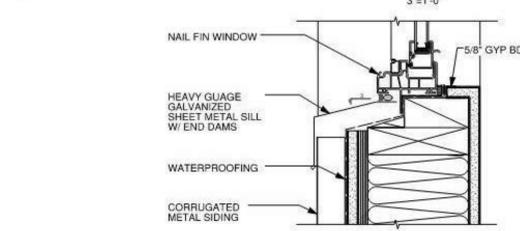




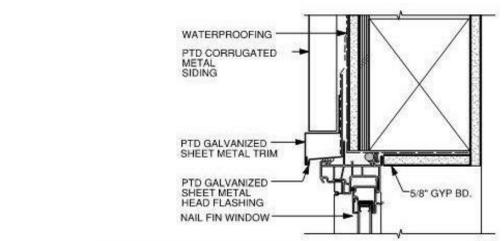
RECESSED WINDOW - CORRUGATED METAL SIDING - HEAD 18



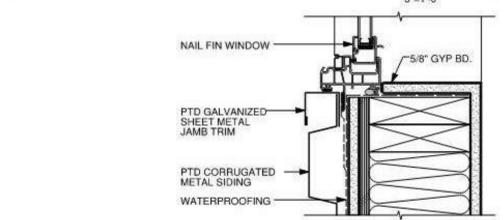
RECESSED WINDOW - CORRUGATED METAL SIDING - JAMB 17



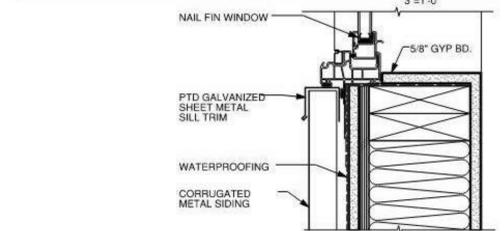
RECESSED WINDOW - CORRUGATED METAL SIDING - SILL 16



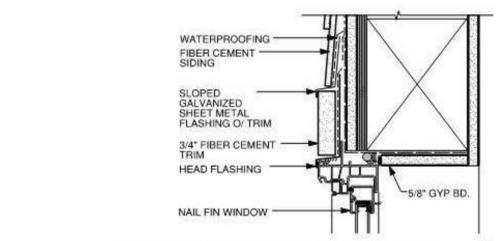
WINDOW - CORRUGATED METAL SIDING - HEAD 13



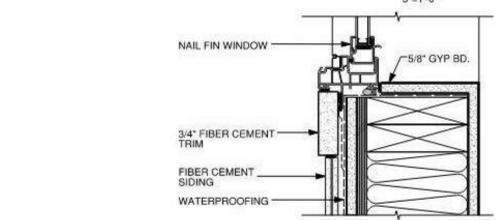
WINDOW - CORRUGATED METAL SIDING - JAMB 12



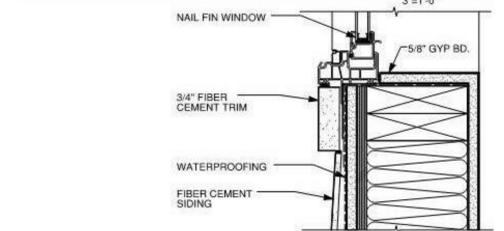
WINDOW - CORRUGATED METAL SIDING - SILL 11



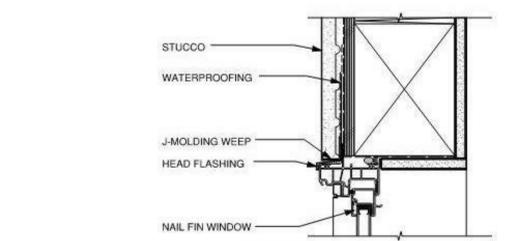
WINDOW - FIBER CEMENT LAP SIDING- HEAD 9



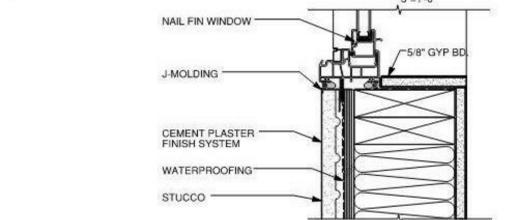
WINDOW - FIBER CEMENT LAP SIDING- JAMB 8



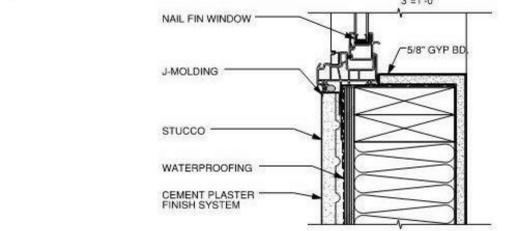
WINDOW - FIBER CEMENT LAP SIDING- SILL 7



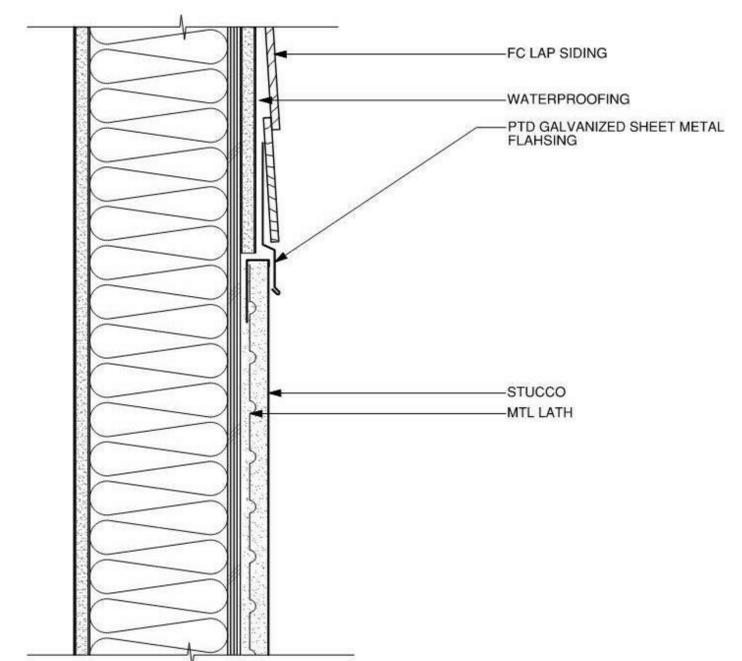
WINDOW - STUCCO - HEAD 4



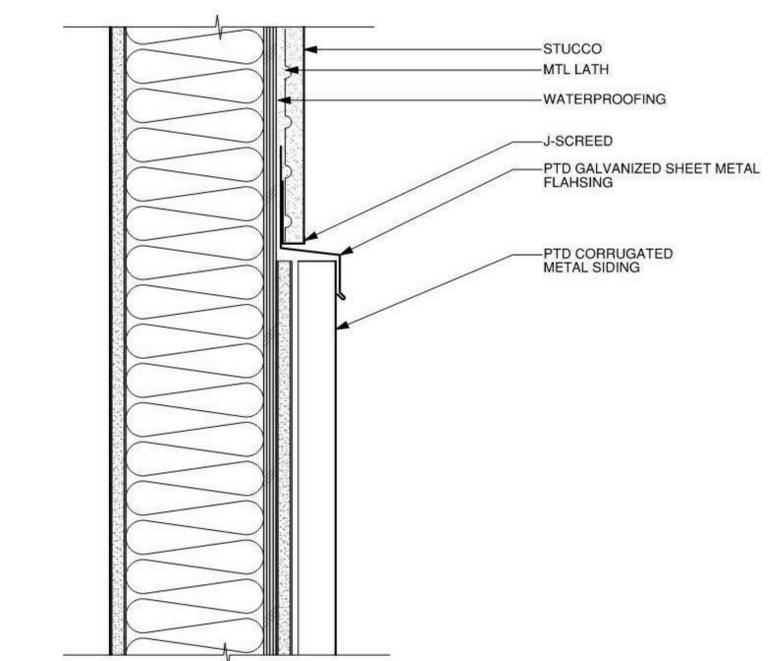
WINDOW - STUCCO - JAMB 3



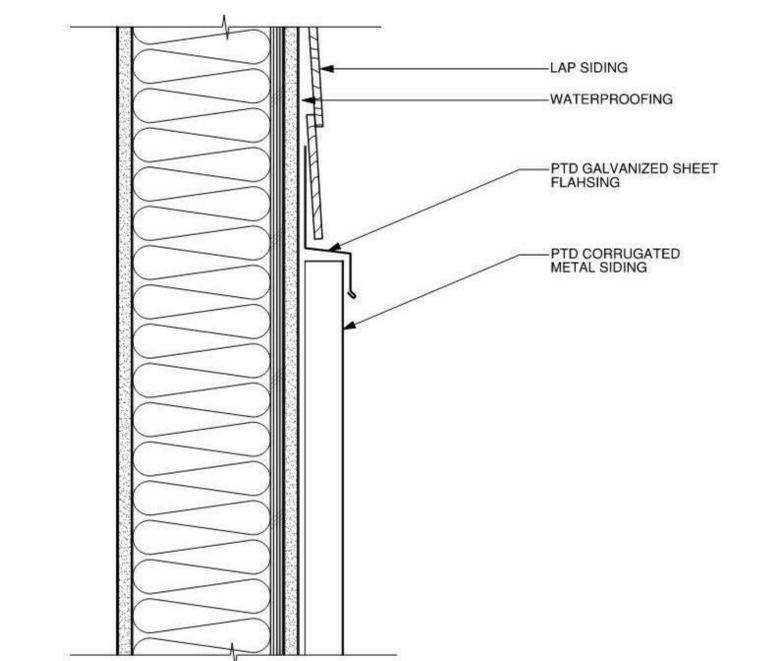
WINDOW - STUCCO - SILL 2



FC LAP SIDING TO STUCCO 10



STUCCO TO CORRUGATED MTL SIDING 6



FIBER CEMENT LAP SIDING TO CORRUGATED MTL SIDING 1

GENERAL NOTES

- A. SITE ELEVATION HEIGHT OF XXX'XX" = 0'-0".
- B. G.C. SHALL COORDINATE EXTERIOR FINISHES WITH EXTERIOR ELEVATIONS.
- C. SEE SHEETS A10.00 & A10.01 FOR WALL TYPE SCHEDULE AND FLOOR/ROOF ASSEMBLIES.
- D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- E. GC TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER FRAMED VOIDS.
- F. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS. NOT EVERY OCCURRENCE OF GSM FLASHING IS SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS.
- G. SOLDERED TRANSITION FLASHING (STF) SHOWN ARE TYPICAL. NOT ALL LOCATIONS ARE INDICATED. STF'S SHALL BE REQUIRED AT ALL 3-DIMENSIONAL TRANSITIONS OF PLANES OR MATERIALS. PROVIDE SHOP DRAWINGS THAT FULLY DEPICT ALL REQUIRED STF'S FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- H. SEE ROOF PLANS AND ELEVATIONS FOR PARAPET HEIGHTS.
- I. ROOF SLOPES NOTED ARE MINIMUMS. GC TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURERS WARRANTY.
- J. GC SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- K. NOT EVERY OCCURRENCE OF SEALANTS ARE SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE SEALANTS AS REQ. AT ALL MATERIAL TRANSITIONS.
- L. THRESHOLDS SHALL BE COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR, 1/2" MAX HEIGHT.
- M. CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND TO SHOWERS.
- N. GC SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE GC SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD.
- O. THE GC SHALL INCLUDE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- P. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
- Q. NOT EVERY ASPECT OF EVERY FIRE STOPPING DETAIL IS INDICATED IN THE CDS. THE GC SHALL INCLUDE ALL FIRE STOPPING, SFRING THAT WILL BE REQUIRED TO COMPLETE THE PROJECT AND RECEIVE APPROVAL FROM LOCAL INSPECTORS.
- R. PROVIDE REQUIRED EXTENSION OF THE ONE-HOUR OR TWO EXTERIOR WALL CONSTRUCTION THROUGH ATTIC. USE DOUBLE BLOCKING AND OR RATED GWB TO UNDERSIDE OF ROOF SHEATHING.
- S. DRAFT STOPS REQUIRED PER CBC 718.3 SHALL BE 1/2" SHEATHING TO UNDERSIDE OF ROOF OR APPROVED EQUAL.
- T. GC TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- U. ALL GUARDRAILS SHALL BE 43" AFF

LIVING GROUP

