

SPIRIT SENIOR HOUSING

PLANNING REVISIONS - JULY 11, 2023

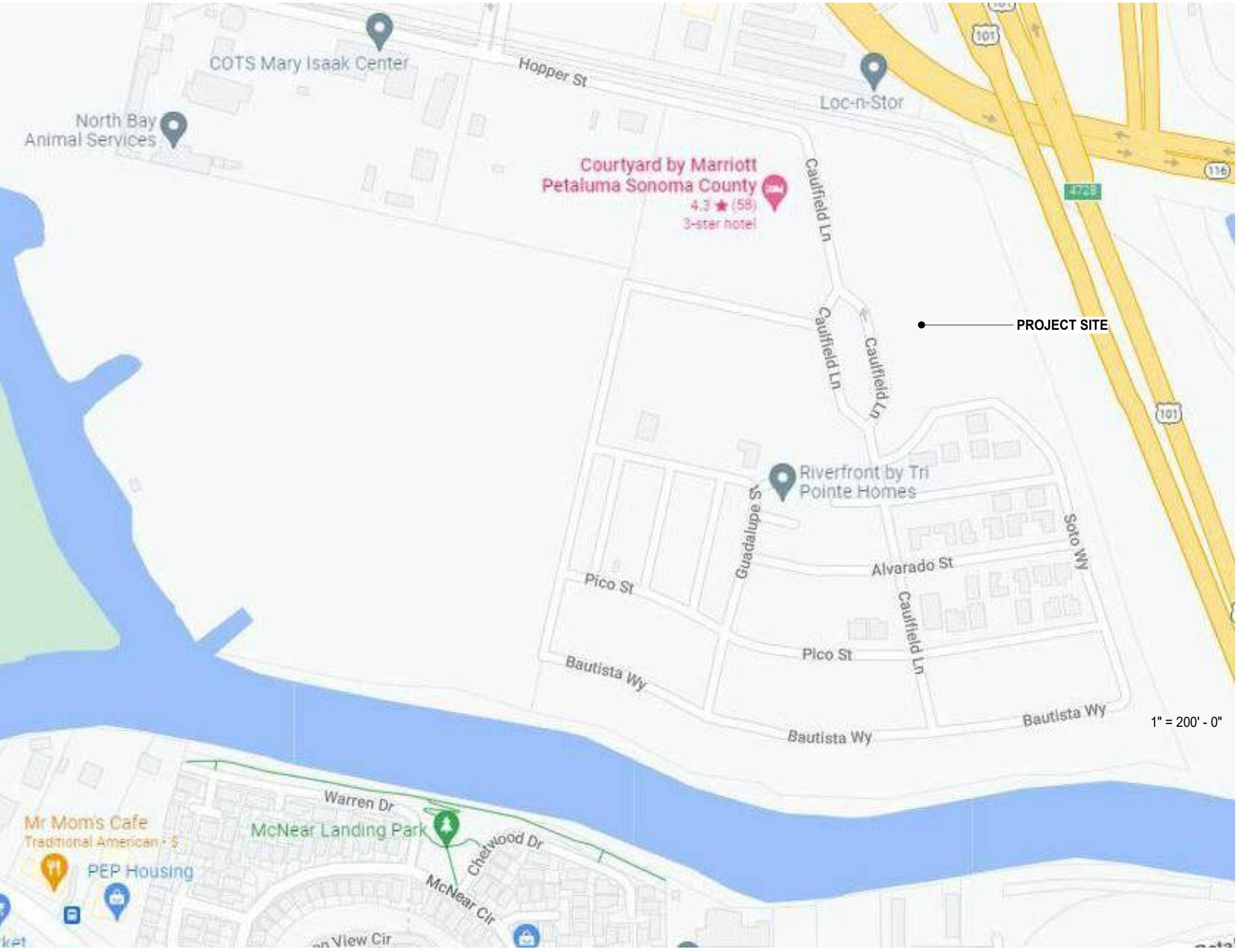
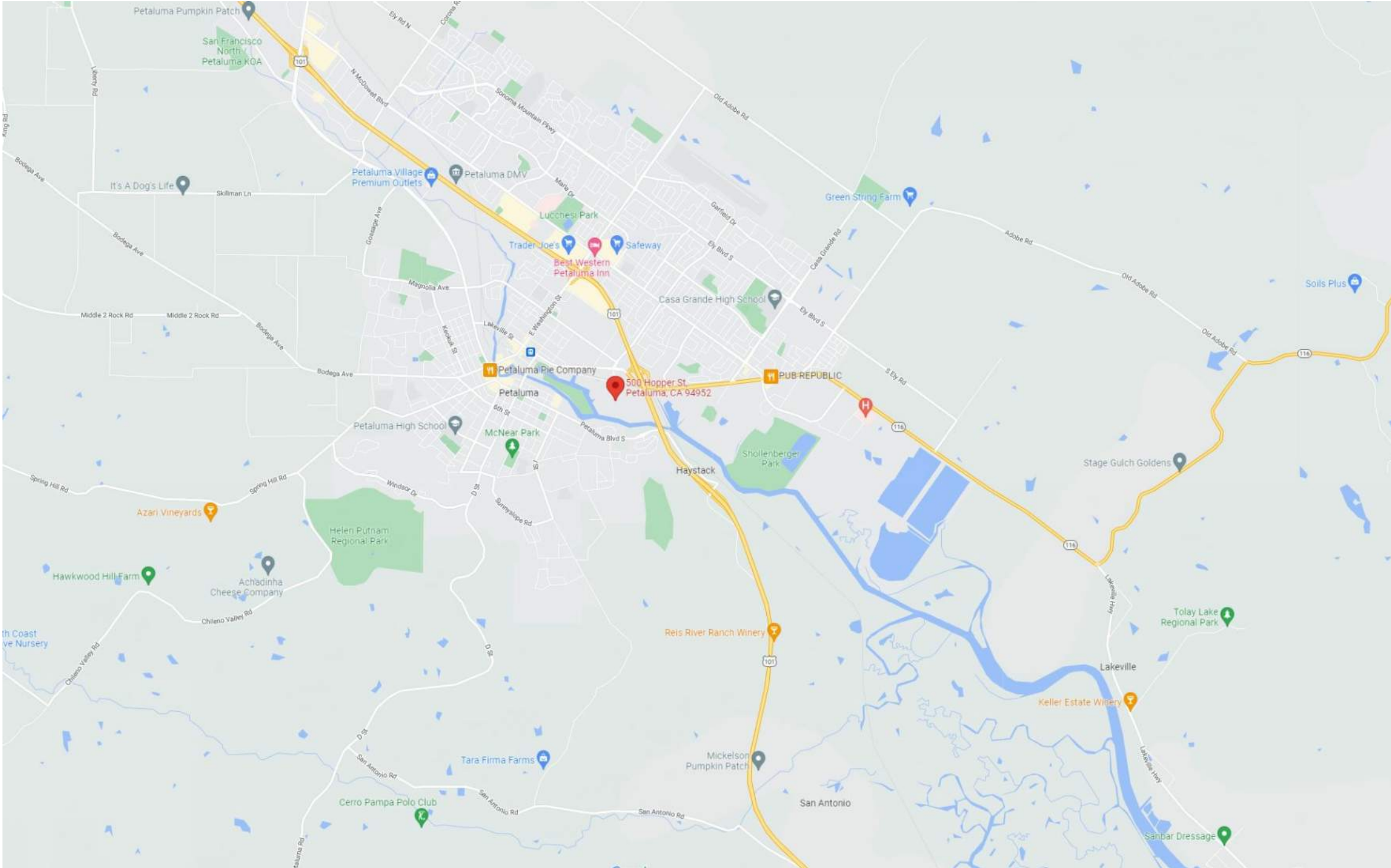


BDE
ARCHITECTURE

**500 HOPPER STREET (LOT 5)
PETALUMA, CA**

Spirit
LIVING GROUP

ABV	Above	GSM	Galvanized Sheet Metal	RFL	Reflected
APF	Above Finished Floor	GCMU	Glazed Conc Masonry	REFR	Refrigerator
AP	Access Panel	Units		REG	Register
ACC	Acoustical	GD	Grading	RE	Reinforce (d), (ing)
ADD	Addendum	GRN	Granite	REM	Remove
ADH	Adhesive	CVL	Gravel	RES	Resilient
ADJ	Adjacent	GT	Groat	RET	Return
ADJT	Adjustable	GWB	Gypsum Wall Board	RA	Return Air
A/C	Air Conditioning	GYP	Gypsum	REV	Revision (s), Revised
ALT	Alternate			R	Riser
AL	Aluminum	HDW	Hardware	RD	Roof Drain
AB	Anchor Bolt	HMTL	Hollow Metal	RFG	Refract
ANOD	Anodized	HWD	Hardwood		Roofing
APX	Approximate	HDR	Header	RM	Room
ARCH	Architect (ural)	HTG	Heating	RO	Rough Opening
AD	Area Drain	HVAC	Heating/Ventilation	RB	Rubber Base
				RBT	Rubber Tile
				RWL	Rain Water Leader
BSMT	Basement	HT	Height		
BVL	Beveled	HC	Hollow Core		
BIT	Bituminous	HOR	Horizontal		
BLK	Block	HH	Hose Bib	SAC	Suspended Acoustical Clg.
BLKG	Blocking	HWH	Hot Water Heater	SASM	Self Adhesive Sht Membrane
BD	Board			SFGL	Safety Glass
B.O.	Bottom Of	INCL	Include (d), (ing)	SCD	See Civil (Eng) Drawings
BRK	Inside Diameter	ID	Inside Diameter	SCHD	Schedule
BLDG	Building	INS	Insulate (d), (ing)	SCN	Screen
BUR	Built Up Roofing	INT	Interior	SLNT	Sealant
		INV	Invert	SEC	Section
CAB	Cabinet			SSK	Service Sink
CK	Caik (ing) Caulk (ing)	JT	Joint	SHTH	Sheathing
CPT	Carpet (ed)	JF	Joint Filler	SHT	Sheet
CSMT	Casement	KPL	Kickplate	SGT	Square Feet
CST	Cast Stone	KIT	Kitchen	SG	Sheet Glass
CLG	Ceiling	KO	Knockout	SIM	Similar
CT	Ceiling Height			SD	See Landscape Drawings
CR	Ceramic	LBL	Label	SC	Solid Core
CT	Ceramic Tile	LB	Lag Bolt	SMD	See Mechanical Drawings
CLR	Clear (ance)	LAM	Laminate (d)	SP	Spacer
COLUMN	Column	LAV	Lavatory	SPC	See Plumbing Drawings
CONC	Concrete	LW	Lightweight	SPD	See Plumbing Drawings
CMU	Concrete Masonry Unit	LWC	Lightweight Concrete	SPK	Specification (s)
CONST	Construction	LMS	Limestone	SPEC	Specification (s)
CG	Continuous or Continue	LVR	Louver	SQ	Square
C.J.	Control Joint	LPT	Low Point	SS	Stainless Steel
CONT	Corner Guard			SSD	See Structural Drawings
		M	Mirrored	STD	Standard
DP	Dampproofing	MB	Machine Bolt	STA	Station
DEM	Demolish, Demolition	MDF	Medium Density	ST	Steel
DTL	Detail			STOR	Storage
DIAG	Diagonal	MH	Manhole	SD	Storm Drain
DIA	Diameter	MFR	Manufacture (r)	STR	Structural
D	Drain	MAS	Masonry	SUS	Suspended
DIM	Dimension	MO	Masonry Opening	SYM	Symmetry (cal)
DIV	Division	MAX	Maximum	SV	Sheet Vinyl
DH	Double Hung	MECH	Mechanic (al)	STC	Sound Transmission Coefficient
DN	Down	MC	Medicine Cabinet		
DS	Downspout	MET	Metal	TEL	Telephone
DWG	Drawing	MTR	Metal Furring	TMP	Tempered
EF	Each Face	MWK	Millwork	TV	Television
ELEC	Electric (al)	MIN	Minimum	THK	Thick (ness)
EP	Electrical Panelboard	MIR	Mirror	THR	Threshold
EL	Elevation	MISC	Miscellaneous	TPD	Toilet Paper Dispenser
ELEV	Elevation	MLD	Molding, Moulding	TR	Trash
EMER	Emergency	NR	Noise Reduction	TOP	Top Of Plate
EPDM	Ethylene Propylene Diene	NOM	Nominal	TOS	Top Of Slab
Monomer		NKC	Not In Contact	TST	Top Of Steel
EQ	Equal	NTS	Not to Scale	TW	Towel Bar
EOP	Equipment	NO (#)	Number	T	Tread
EST	Estimate			TYP	Typical
EXH	Exhaust	O/	Over	UNF	Unfinished
EB	Expansion Bolt	OBS	Obscure	UON	Unless Otherwise Noted
EJ	Expansion Joint	OC	On Center (s)	UR	Urinal
EXP	Exposed	OFS	Over Flow Drain	V	Vaulted
(E)	Existing	OPS	Overflow Scupper	VAR	Varies
EXT	Exterior	OP	Opaque	VB	Vapor Barrier
FC	Fiberglass Clad	OPG	Opening	VNR	Veneer
FCC	Face Of Concrete	OPP	Opposite	VERT	Vertical
FOF	Face Of Finish	OD	Outside Diameter	VG	Vertical Grain
FOM	Face Of Masonry	OA	Overall	VN	Vinyl
FOS	Face Of Studs	OH	Overhead	VAT	Vinyl Acoustical Tile
FF	Finish Floor			VB	Vinyl Base
FN	Finish (ed)	PTR	Paper Towel Receptor	VCT	Vinyl Composite Tile
FFE	Finished Floor Elevation	PB	Particle Board		
FA	Fire Alarm	PTD	Painted		
FP	Fireproof	PTN	Partition	W/	With
FR	Fire-resistant	PBD	Particle Board	WSC	Wainscot
FRT	Fire-retardant	PERF	Perforate (d)	WTW	Wall To Wall
FL	Floor	PERI	Perimeter	WH	Wall Hung
FLR	Floor (ing)	PLAM	Plastic Laminate	WC	Water Closet
FLS	Flashed	PG	Plate Glass	WP	Waterproofing, Waterproof
FD	Floor Drain	PWD	Plywood	WPM	Water Proof Membrane
FLUR	Fluorescent	PT	Point	WR	Water Repellant
FJT	Flush Joint	PVC	Polyvinyl Chloride	WRB	Weather Resistant Barrier
FTG	Footing	PSF	Pounds Per Square	WS	Wainscot
FND	Foundation	Foot		WWF	Welded Wire Fabric
FRM	Frame (ing)	PSI	Pounds Per Square	WDW	Window
FUR	Furred (ing)	Inch		WG	Wired Glass
		PCC	Precast Concrete	WM	Wire Mesh
G	Grade	PFB	Prefabricate (d)	WO	Without
GA	Gage, Gauge	PFN	Prefinished	WO	Wood
GV	Galvanized	PRF	Preformed	WB	Wood Base
GC	General Contractor	PL	Property Line	WI	Wrought Iron
GL	Glass, Glazing	PT	Pressure Treated		
GLB	Glass Block				
		RAD	Radius		
		RWL	Rainwater Leader		
		REC	Recessed		
		REF	Reference		



1" = 200' - 0"

PLANNING & BUILDING CODE SUMMARY

PROJECT DESCRIPTION

A PRIVATELY FUNDED PROJECT LOCATED ON PAVEL LOT 5 WITH THE NEW BUILDING TO HAVE AT GRADE PARKING. THE PROJECT CONSIST OF THE ELEMENTS DESCRIBED BELOW:

- ONE MIXED-USE BUILDING OF TYPE I-A CONSTRUCTION CONSISTING OF 4-STORY, 106 RESIDENTIAL CARE FACILITY FOR THE ELDERLY UNITS AND RELATED SERVICES AND AMENITY SPACES, & PARKING.
- ALL PUBLIC AREAS AND CORRIDORS ARE ACCESSIBLE PER CHAPTER 11A.
- ALL PORTIONS OF THE PROJECT ARE FULLY SPRINKLERED PER 903.3.1.1 / NFPA 13. ALL REFERENCES TO "AUTOMATIC SPRINKLERS SYSTEM" MEAN PER 903.3.1.1 / NFPA 13.
- PARKING GARAGE IS OPEN AND NOT MECHANICALLY VENTILATED.
- PROJECT INCLUDES RELEVANT SITE WORK, INCLUDING EXCAVATION, GRADING, PAVING, LANDSCAPING AND UTILITY CONNECTIONS AS REQUIRED FOR A COMPLETE PROJECT.

ZONING: URBAN CORE MIXED USE T-6

HEIGHT / BULK ALLOWED: 65'-0" / FAR 2.5

PROJECT LOCATION: 500 HOPPER PETALUMA, CA 94952

LOT AREA: 30,768 S.F.

GROSS FLOOR AREA:

PROPOSED GROSS FLOOR AREA

FLOOR	OCCUPANCY	GROSS AREA
FLOOR 1 RESIDENTIAL	A-2 & R-2.1	14,539 S.F.
FLOOR 2 RESIDENTIAL	R-2.1	19,720 S.F.
FLOOR 3 RESIDENTIAL	R-2.1	19,625 S.F.
FLOOR 4 RESIDENTIAL	R-2.1	19,625 S.F.
ROOF (ENCLOSED)	A-2	2,832 S.F.
GROSS AREA (NOT INCLUDING ROOF)		73,999 S.F. TOTAL

NOTE: AREA MEASURED TO THE EXTERIOR FACE OF BUILDING WALLS, INCLUDING DECKS THAT ARE NOT OPEN TO THE SKY. EXCLUDES BREEZEWAY, ROOF DECK, AND PORTIONS OF DECKS WHICH PROJECT BEYOND THE FACE OF THE BUILDING. NO DEDUCTIONS FOR SHAFTS OR STAIRWAYS.

LOT COVERAGE: BUILDING AREA: 19,612 S.F. LOT AREA: 30,768 S.F.

RESIDENTIAL DENSITY

NUMBER OF UNITS / ACRE: 106 UNITS / 70 ACRES

BIKE PARKING

PARKING PROVIDED: 24

PARKING

VEHICLE PARKING REQUIRED:

RESIDENTIAL 1 / PER UNIT	0
COMMERCIAL 2 / PER 1,000 S.F.	4
ASSISTED LIVING 25 / PER UNIT	27
TOTAL	31

VEHICLE PARKING PROPOSED:

STANDARD STREET OFFSITE	=	11
STANDARD SURFACE	=	3
STANDARD COVERED	=	23
ADA SURFACE	=	2
EV CHARGING STATION	=	1
TOTAL	=	29
TOTAL (W OFFSITE)	=	40

MAXIMUM BUILDING HEIGHT: 65'-0" (ALLOWED PER PLANNING CODE) 48'-0" TO AVERAGE ROOF HEIGHT (55'-6" TO HIGH ROOF)

OCCUPANCY GROUPS:

RESIDENTIAL	R-2.1
STORAGE (GARAGE)	S-2
ASSEMBLY (RESTAURANT)	A-3
BUSINESS (OFFICE/SALES)	B

CONSTRUCTION TYPE:

S-2, A-2, B, & R-2.1 TYPE I-A, FULLY SPRINKLERED

THE BUILDING SHALL COMPLY WITH THE 2016 CFC SECTION 510 FOR ERRC COVERAGE.

ALLOWABLE GROSS FLOOR AREA / HEIGHTS / CONSTRUCTION TYPES

BASE ALLOWABLE AREA PER FLOOR PER CBC TABLE 506.2 FOR TYPE I-A:

S-2	UNLIMITED S.F.
A-3	UNLIMITED S.F.
B	UNLIMITED S.F.
R-2.1	UNLIMITED S.F.

BASE ALLOWABLE HEIGHT & STORIES PER CBC TABLE 504.3 & 504.4 FOR TYPE I-A:

S-2	UNLIMITED S.F.
A-3	UNLIMITED S.F.
B	UNLIMITED S.F.
R-2.1	UNLIMITED S.F.

FIRE-RESISTANCE RATING REQUIREMENTS:

FOR TYPE I-A CONSTRUCTION: FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS PER TABLE 601:

STRUCTURAL FRAME	3-HR	REDUCE TO 1 1/2-HR FOR ROOF SUPPORT
EXTERIOR BEARING WALLS	3-HR	
INTERIOR BEARING WALLS	3-HR	REDUCE TO 1 1/2-HR FOR ROOF SUPPORT
INT. NONBEARING WALLS	0-HR	
FLOOR CONSTRUCTION	2-HR	
ROOF CONSTRUCTION	1 1/2-HR	

FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE FOR TYPE I-A AND OCCUPANCY PER TABLE 602:

FIRE SEP. DIST.	OCCUPANCIES: GROUP A, M, R-2 & S-2
X < 5	1-HR
5 ≤ X < 10	1-HR
10 ≤ X < 30	1-HR
X ≥ 30	0-HR

ACCESSIBILITY

100% OF UNITS SHALL BE ADAPTABLE. PER CBC 2021 CHAPTER 11A ALL COMMON USE AREAS SHALL BE ACCESSIBLE PER CBC 2021 CHAPTER 11A ALL PUBLIC AREAS SHALL BE ACCESSIBLE PER CBC 2021 CHAPTER 11B

THE FOLLOWING ITEMS SHALL BE SUBMITTED AS DEFERRED SUBMITTALS:

1. METAL STAIRS
2. FIRE SPRINKLERS AND ALARMS
3. EMERGENCY RESPONDER SYSTEM
4. STEEL SUNSHADES
5. SMOKE CONTROL PANEL TO BE SUBMITTED FOR BLDG AND FIRE REVIEW PRIOR TO FABRICATION
6. SIGNAGE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - A. EMERGENCY VEHICLE ACCESS (EVA) LANE SIGNAGE
 - B. ADDRESS SIGNAGE
 - C. BUILDING DIRECTORY MAP
 - D. TACTILE IDENTIFICATION AND EXIT SIGNAGE

NOTE: DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G., WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.

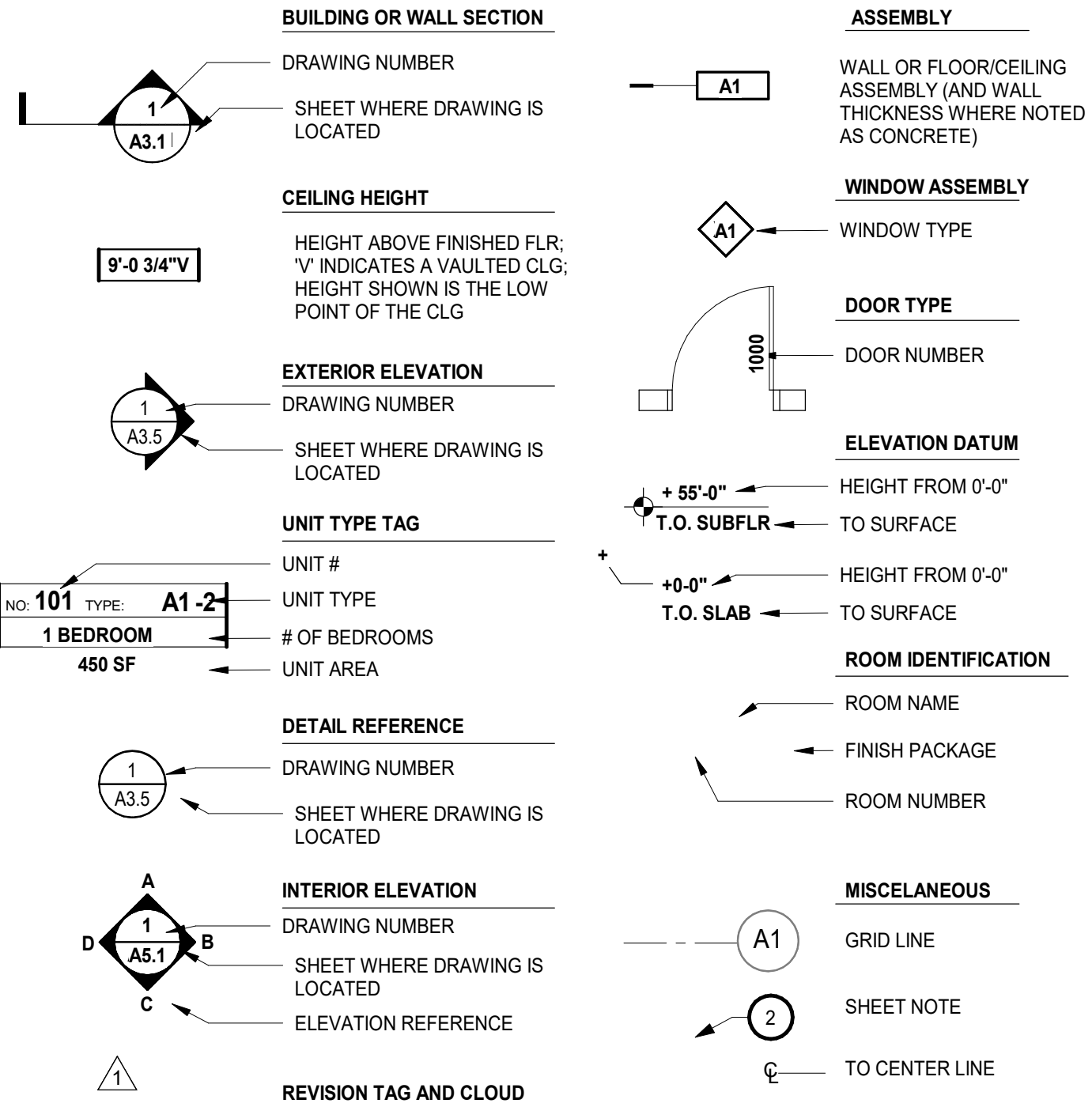
THE DESIGN ANALYSIS FOR THE DESIGN-BUILD / DEFERRED ITEMS WITH THE EXCEPTION OF TEMPORARY SITE SHORING SHALL BE SUBMITTED FOR REVIEW AND APPROVAL NO LATER THAN 30 DAYS AFTER START OF CONSTRUCTION. FIRE PROTECTION SYSTEMS DEFERRED SUBMITTALS SHALL CONFORM TO CBC 107.3.4.1.

2021 CALIFORNIA BUILDING CODE & AMENDMENTS
2021 CALIFORNIA MECHANICAL CODE & AMENDMENTS
2021 CALIFORNIA PLUMBING CODE & AMENDMENTS
2021 CALIFORNIA ELECTRICAL CODE & AMENDMENTS
2021 CALIFORNIA ENERGY CODE
2021 CALIFORNIA FIRE CODE & AMENDMENTS
2021 CALIFORNIA BUILDING CODE CHAPTER 11A
2021 CALIFORNIA BUILDING CODE CHAPTER 11B
PETALUMA SMART CODE

OWNER:
SPIRIT LIVING GROUP
101 LARKSPUR LANDING CIRCLE #220
LARKSPUR, CA 94939
P: (415) 480-6169
CONTACT: AMIR KIA
CONTACT: ALI KIA SHABAHANGI

ARCHITECT:
BDE ARCHITECTURE
950 HOWARD STREET
SAN FRANCISCO, CA 94103
P: (415) 67-0966
CONTACT: JON ENNIS

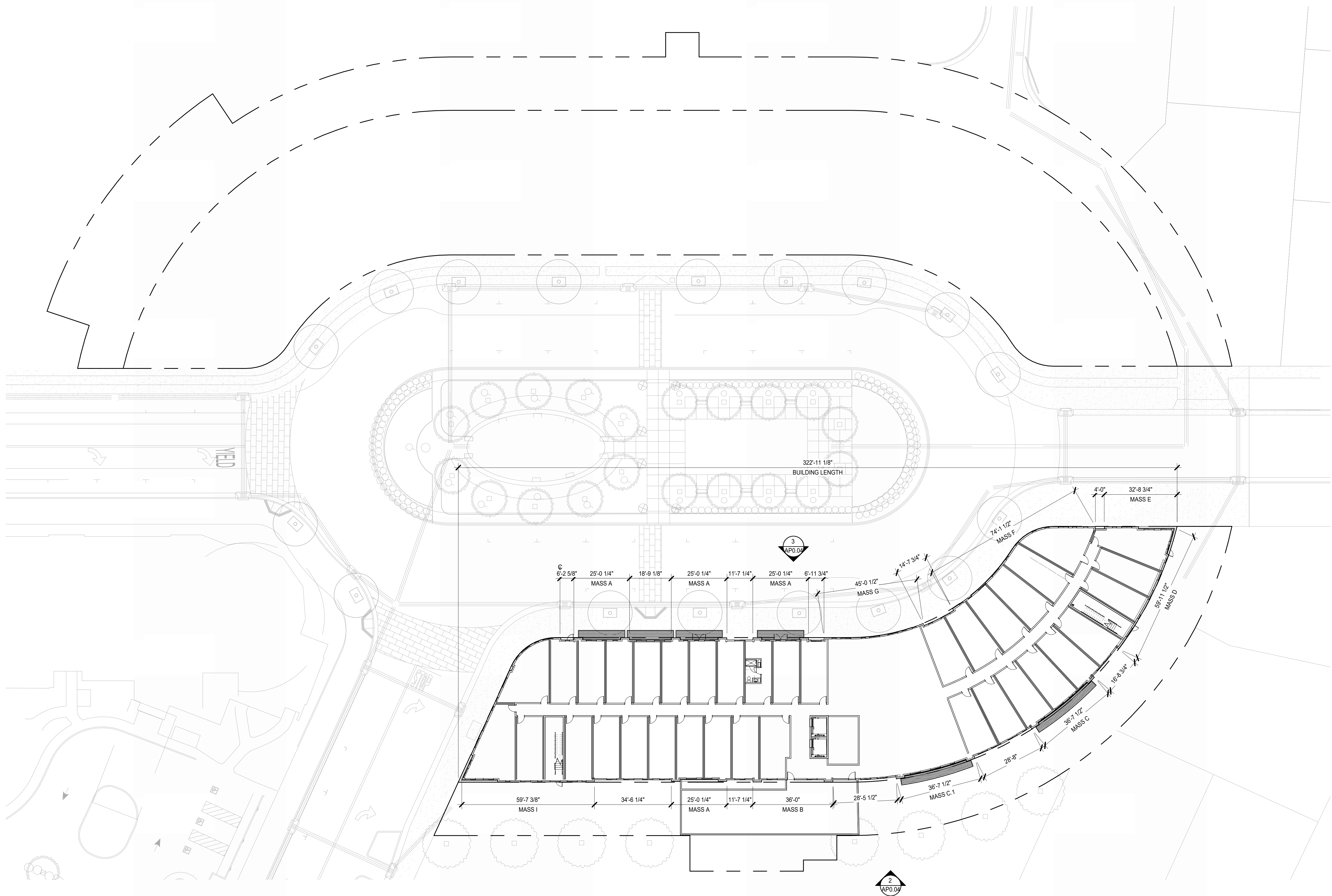
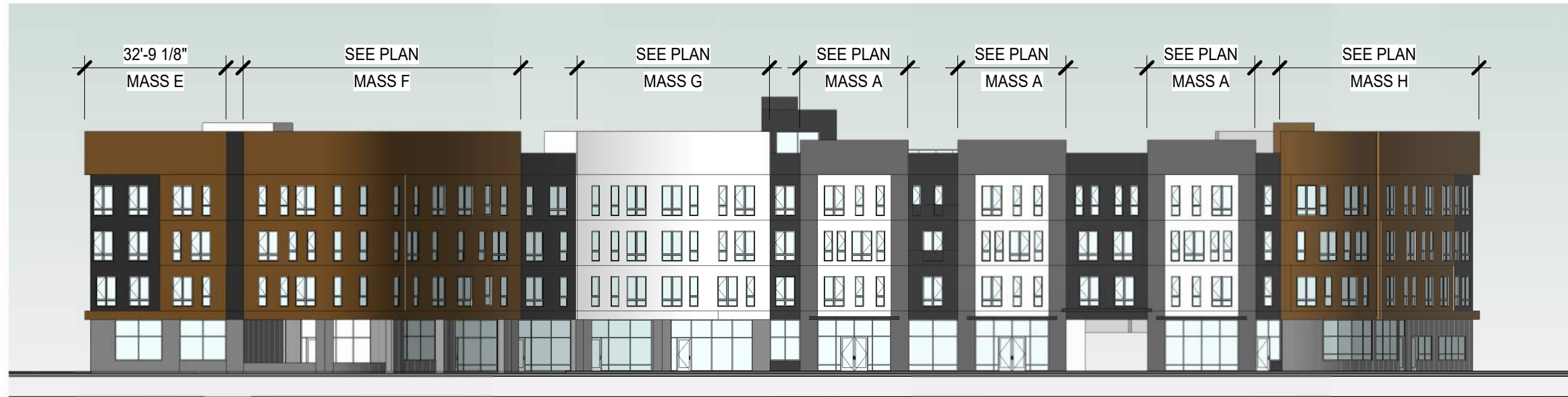
CIVIL ENGINEER:
STEVEN J. LAFRANCHI & ASSOCIATES, INC.
140 SECOND ST., STE 312
PETALUMA, CA 94952
P: (707) 762-3122
CONTACT: STEVE LAFRANCHI

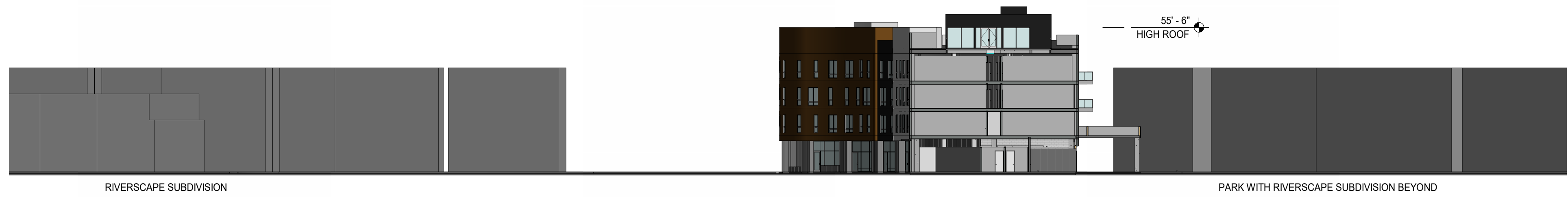




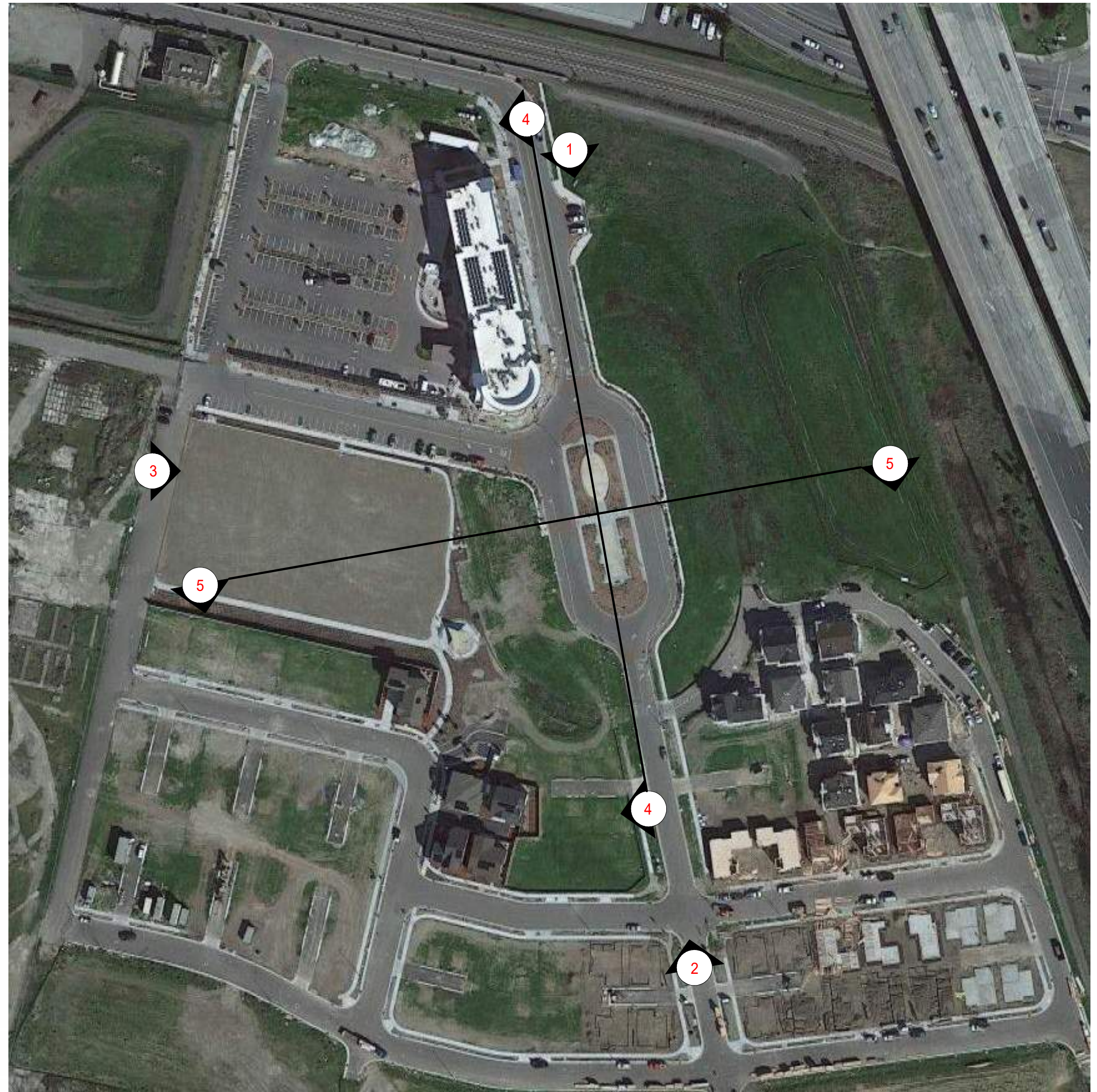
LIVING GROUP

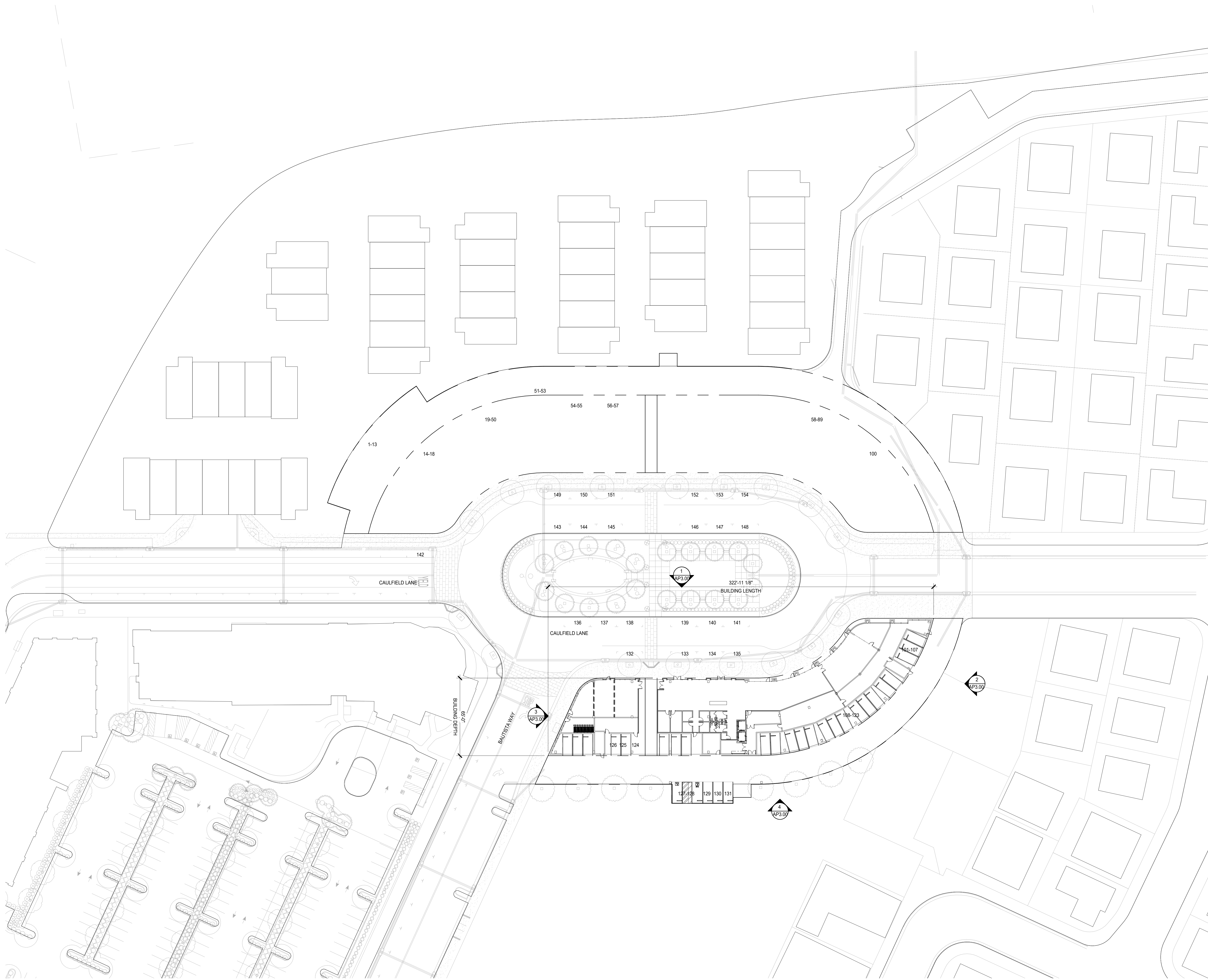






LIVING GROUP





- GENERAL NOTES**
- A. SITE PLAN IS FOR GENERAL BUILDING ORIENTATION AND ENLARGED PLAN REFERENCES.
 - B. SEE JOINT TRENCH DRAWINGS FOR ON/OFF-SITE DRY UTILITY PLANS.
 - C. SEE CIVIL DRAWINGS FOR ON/OFF-SITE UTILITY PLANS, IMPROVEMENTS, GRADING, DRAINAGE AND STORM WATER TREATMENT.
 - D. SEE LANDSCAPE DRAWINGS FOR SITE FINE GRADING, PAVING PLAN, PLANTING PLAN, AND IRRIGATION PLAN.
 - E. SEE A0.3X FOR BUILDING AREA CALCULATIONS.
 - F. SEE A0.4X FOR EGRESS CALCULATIONS & DIAGRAMS.
 - G. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC REFER TO 1/4\"/>
 - H. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, XXX' = 0'-0\"/>
 - I. MINIMUM SLOPE AT FLAT ROOF SHALL BE 3/8\"/>
 - J. REFER TO THE 1/8\"/>
 - K. AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
 - L. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE (1) CONTINUOUSLY ACCESSIBLE; (2) HAVE A MAXIMUM 1/2\"/>

LIVING GROUP

- GENERAL NOTES
- A.

SITE PLAN IS FOR GENERAL BUILDING ORIENTATION AND ENLARGED PLAN REFERENCES.
- B.

SEE JOINT TRENCH DRAWINGS FOR ON/OFF-SITE DRY UTILITY PLANS.
- C.

SEE CIVIL DRAWINGS FOR ON/OFF-SITE UTILITY PLANS, IMPROVEMENTS, GRADING, DRAINAGE AND STORM WATER TREATMENT.
- D.

SEE LANDSCAPE DRAWINGS FOR SITE FINE GRADING, PAVING PLAN, PLANTING PLAN, AND IRRIGATION PLAN.
- E.

SEE A0.3X FOR BUILDING AREA CALCULATIONS.
- F.

SEE A0.4X FOR EGRESS CALCULATIONS & DIAGRAMS.
- G.

UNIT PLANS SHOWN HERE ARE DIAGRAMATIC REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- H.

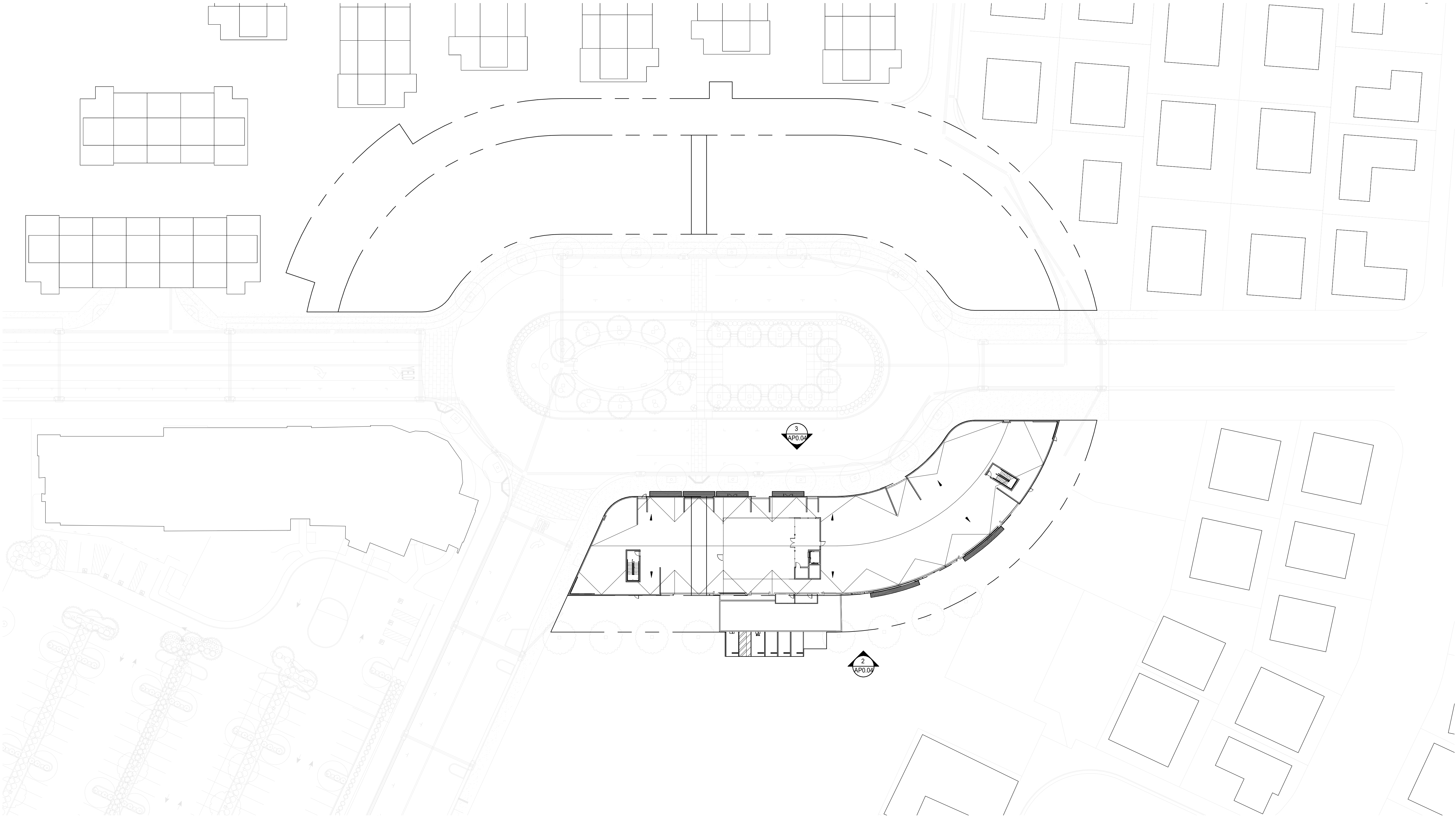
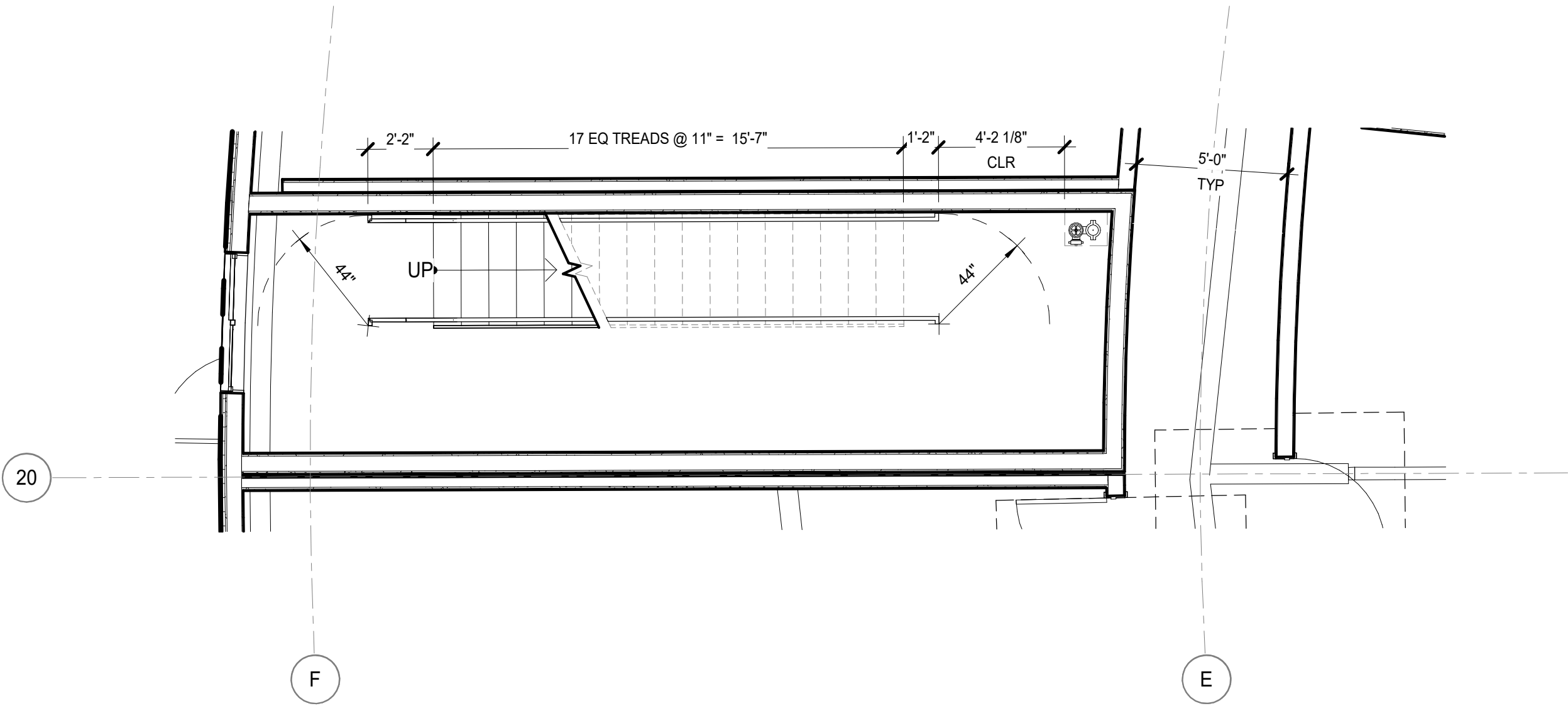
SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, XXX' = 0'-0".
- I.

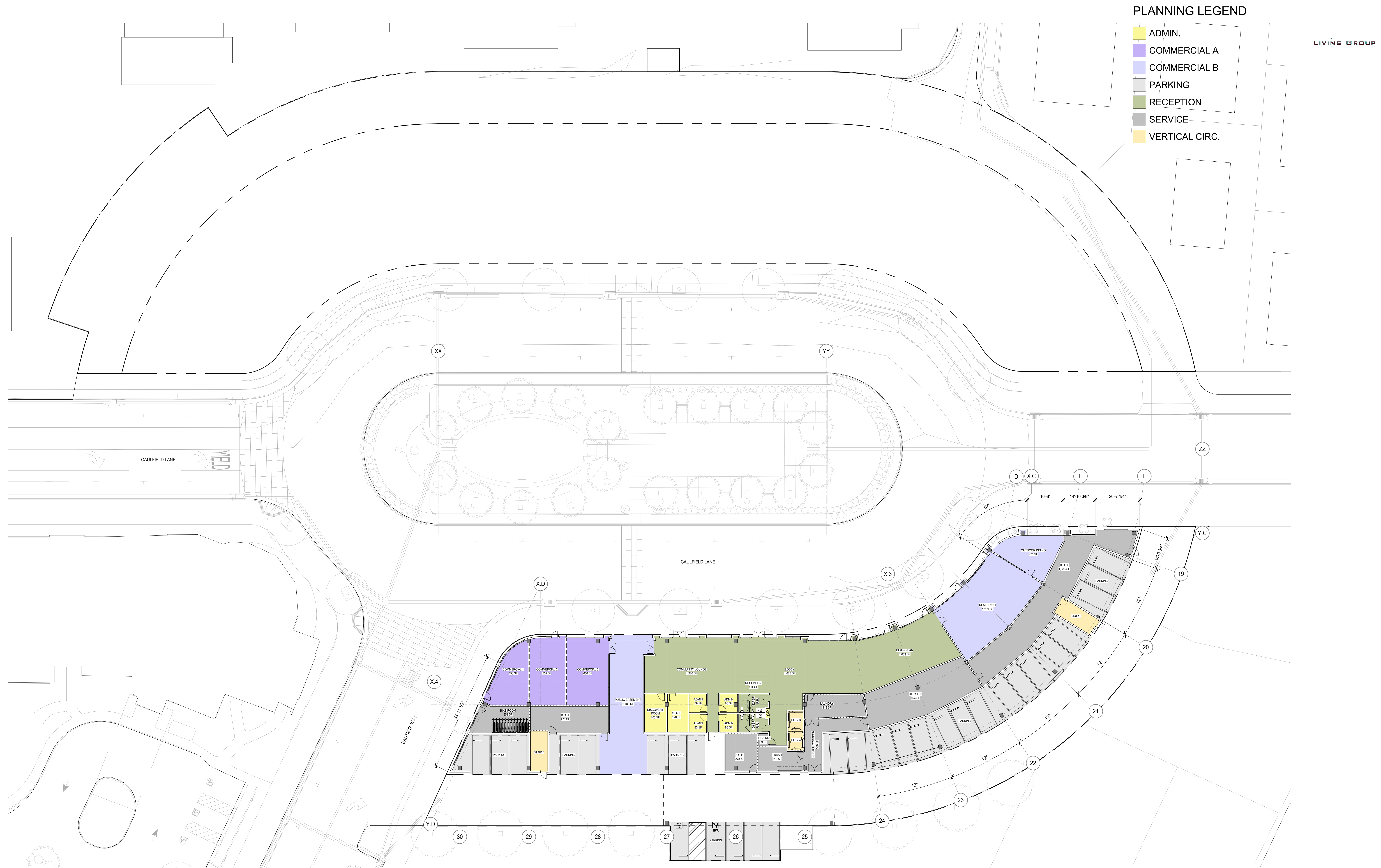
MINIMUM SLOPE AT FLAT ROOF SHALL BE 3/8"/FT, U.O.N.
- J.

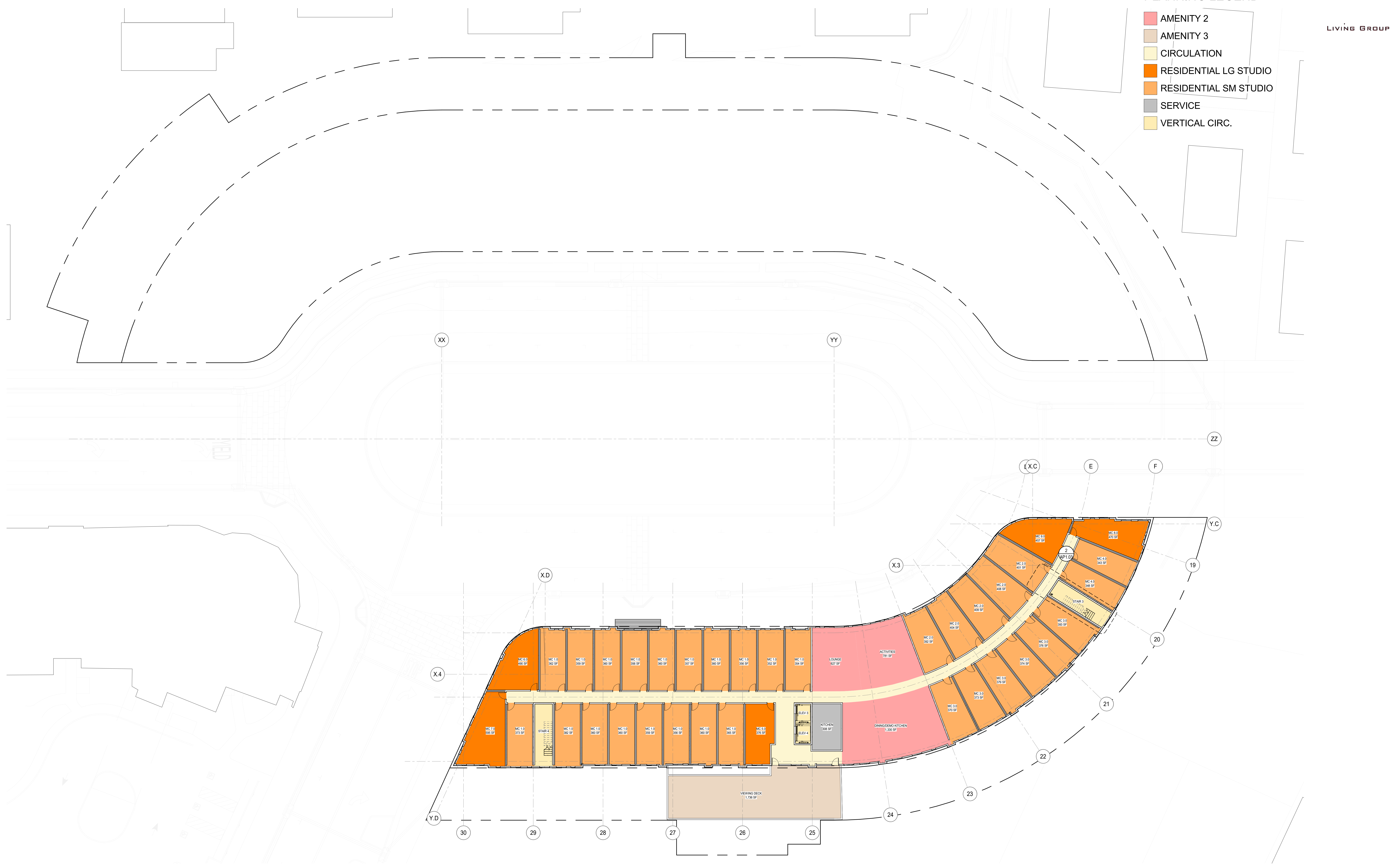
REFER TO THE 1/8" AND 1/4" PLANS FOR THE DOOR TAGS. REFER TO DOOR SCHEDULE INDICATING ALL REQUIRED RATED DOOR LOCATIONS.
- K.

AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
- L.

WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE (1) CONTINUOUSLY ACCESSIBLE; (2) HAVE A MAXIMUM 1/2" CHANGES IN ELEVATION, OR PROVIDE CURB RAMPS COMPLYING WITH CBC 1112A OR 11B-405; (3) ARE MINIMUM 48" IN WIDTH; AND (4) WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 1114A OR 11B-405; PER CBC 1113A & 11B-202.4



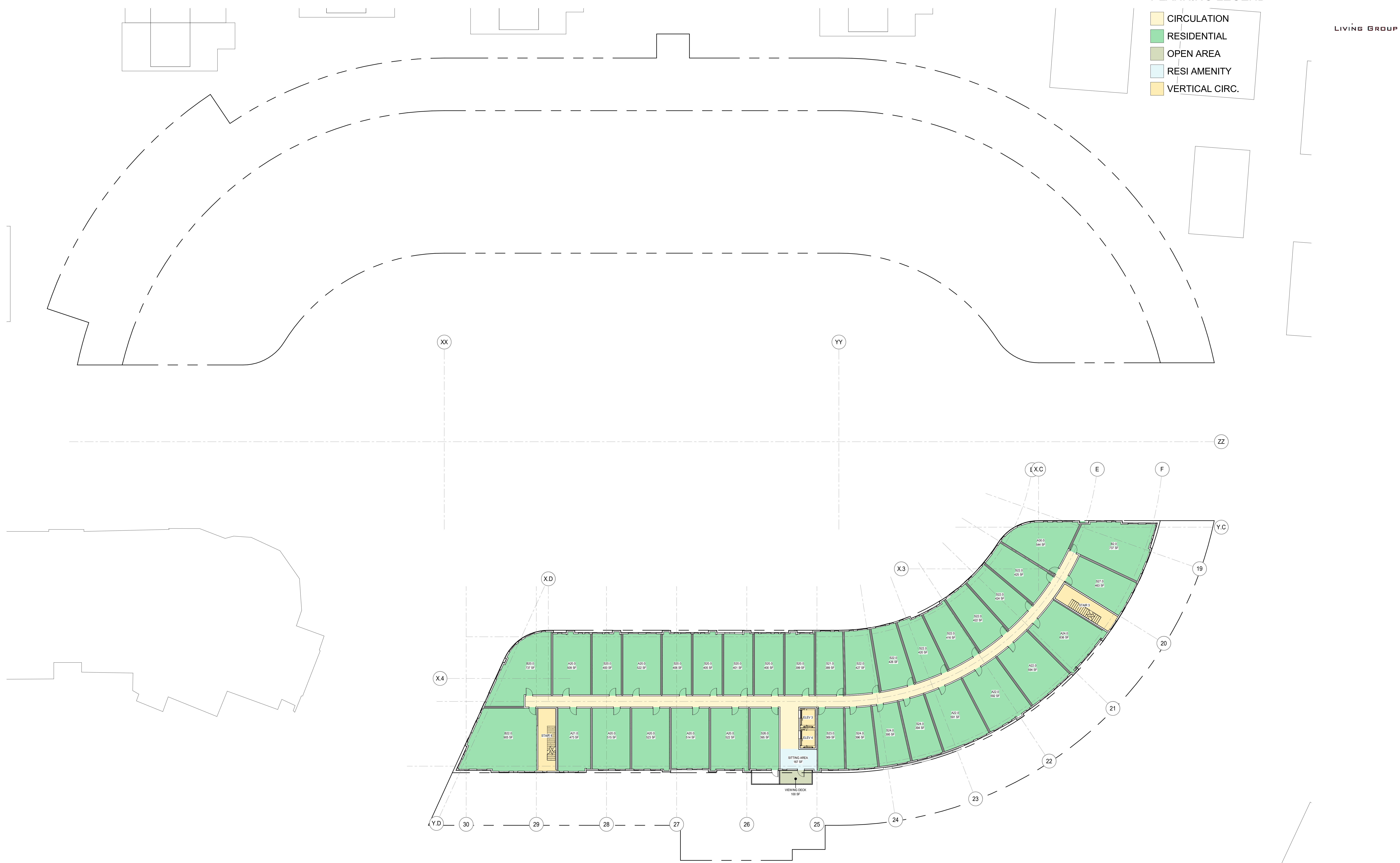




PLANNING LEGEND

- AMENITY 2
- AMENITY 3
- CIRCULATION
- RESIDENTIAL LG STUDIO
- RESIDENTIAL SM STUDIO
- SERVICE
- VERTICAL CIRC.

LIVING GROUP



PLANNING LEGEND

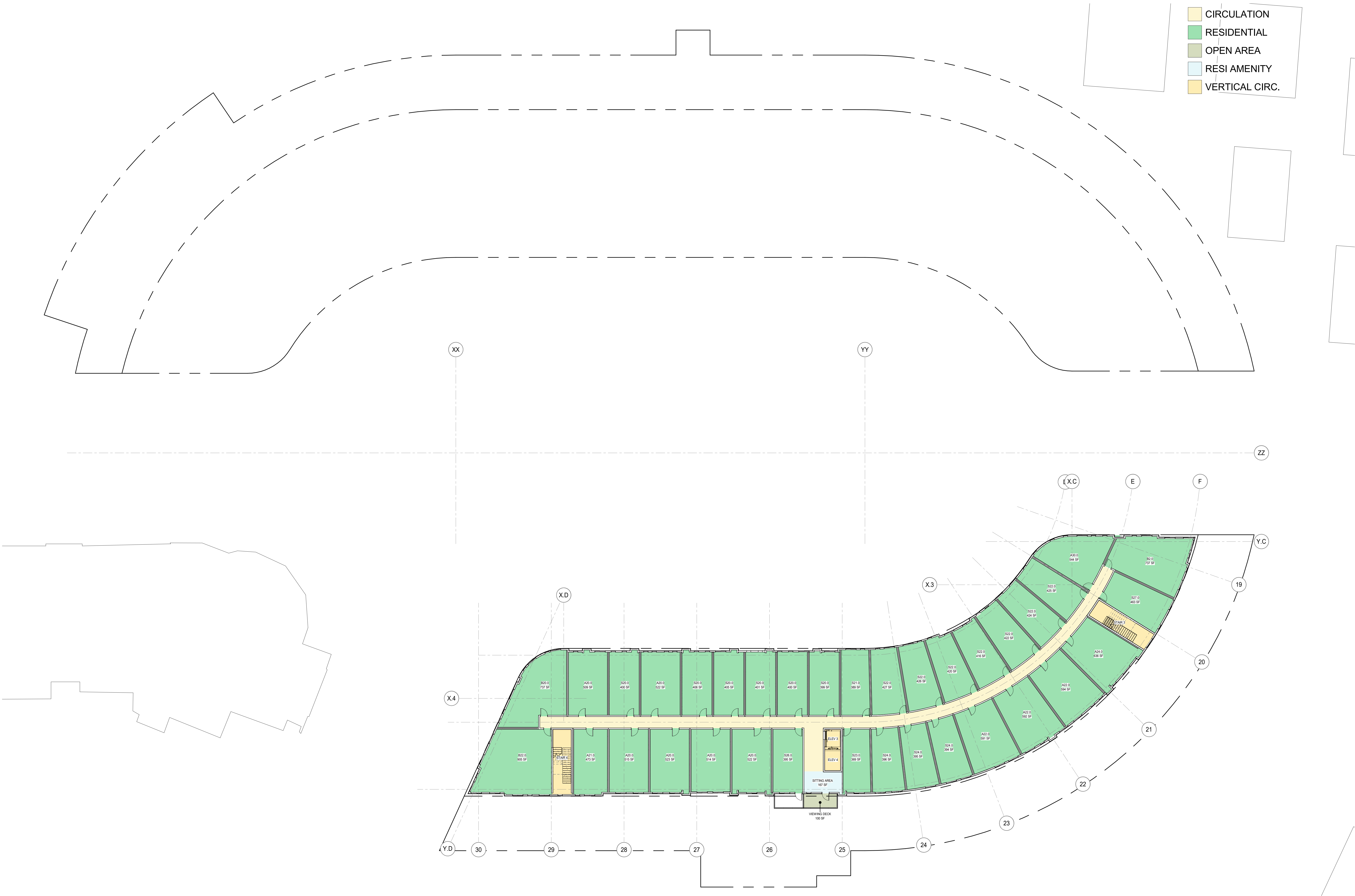
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- RESIDENTIAL
- OPEN AREA
- RESI AMENITY
- VERTICAL CIRC.

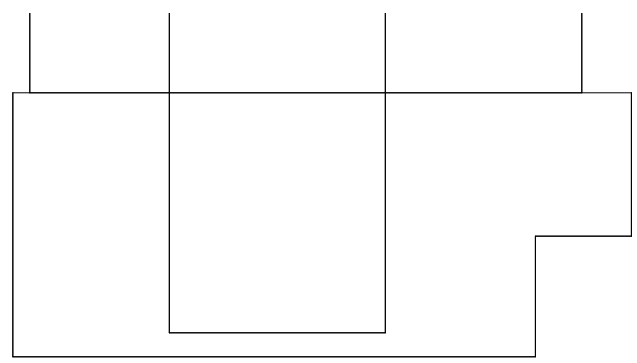
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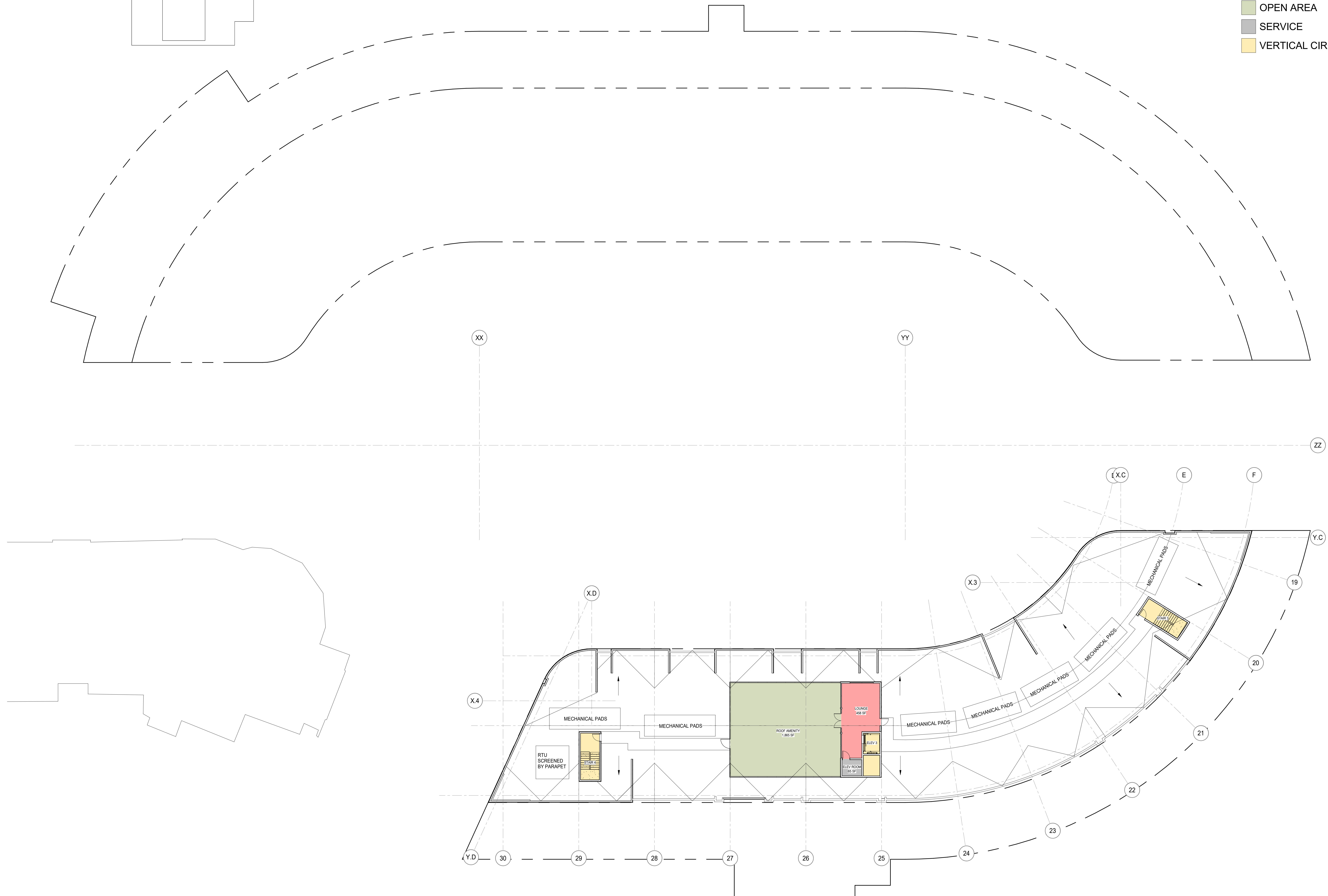


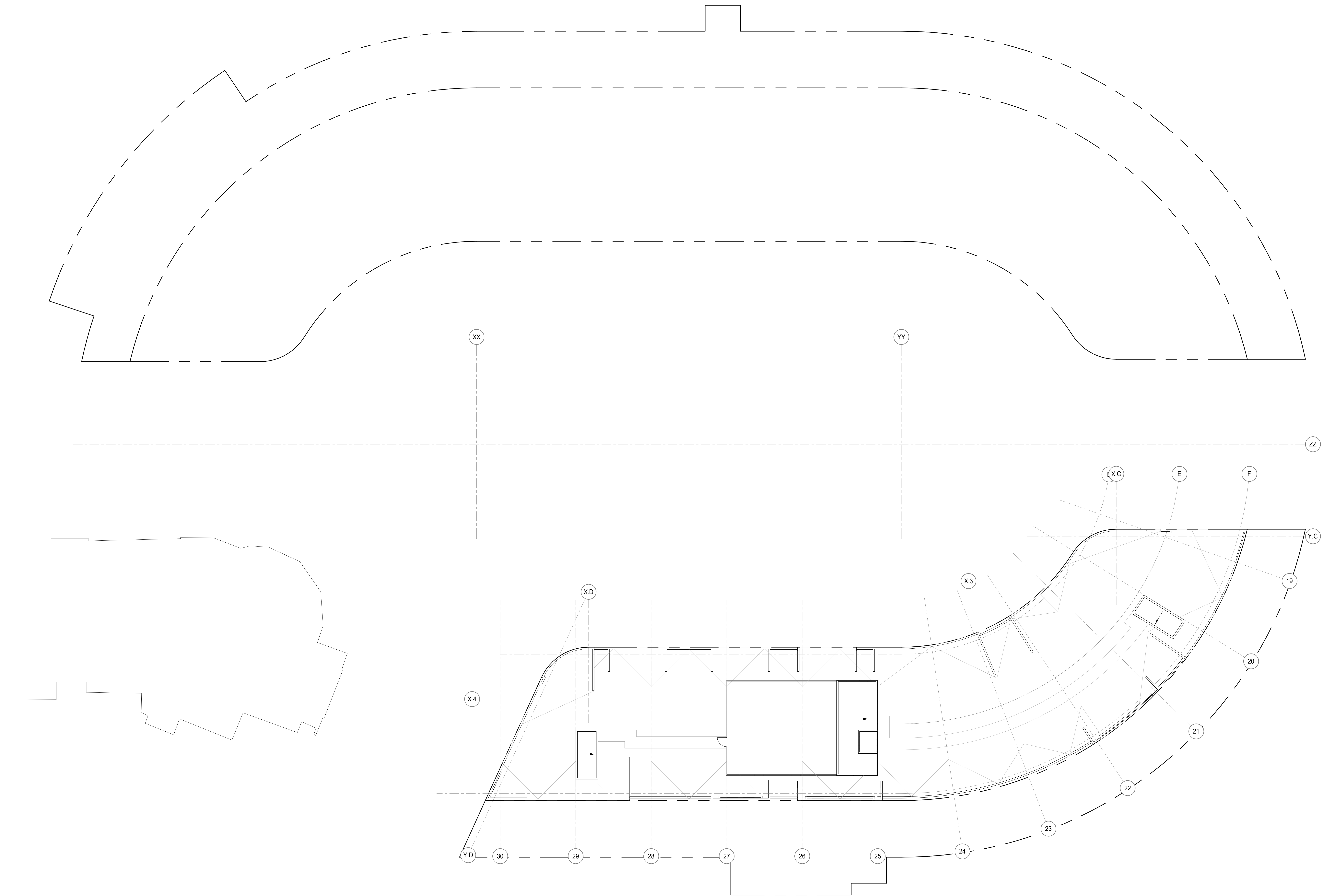


PLANNING LEGEND

- AMENITY 2
- OPEN AREA
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LIVING GROUP





A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL. TYP. (FOR TYPE III OR TYPE V) FOR METAL-FRAMED BUILDINGS THE DIMENSIONS ARE TO THE FACE OF DRYWALL.

B. SITE ELEVATION HEIGHT OF XXX.XX' ± 0.0' DATUM.

C. SEE A0 21K FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.

D. SEE SHEET A10.X FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.

E. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.

F. G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.

G. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER FRAMED VOIDS.

H. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 1/4"1'-0" TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE TO MATCH WITH CODE AND ROOF MANUFACTURER'S WARRANTY.

I. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.

J. G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR HOT-DIP GALVANIZED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.

K. CONCRETE CURBS SHALL BE INCLUDED AS INDICATED IN ARCHITECTURAL DRAWINGS IN ADDITION TO CURBS SHOWN ON STRUCTURAL DRAWINGS.

L. THRESHOLDS MUST BE COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS, MAX 1/2" HEIGHT.

M. PROVIDE BUILT-UP EPOXY GROUT LEVELING COMPOUND AT DECKS AS REQUIRED TO PROVIDE LEVEL SURFACE AND 1/2" MAX THRESHOLD. WEATHER LEVELING COMPOUND TO INTO DECK SURFACE AT MAX 2% SLOPE.

N. THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLORED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.

O. ACOUSTIC SEALANT WHERE INDICATED IN DRAWINGS AND SPEC SHALL BE INSTALLED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS INDICATED IN THE CONTRACT DOCUMENTS, AND IN THE ACOUSTICAL REPORTS.

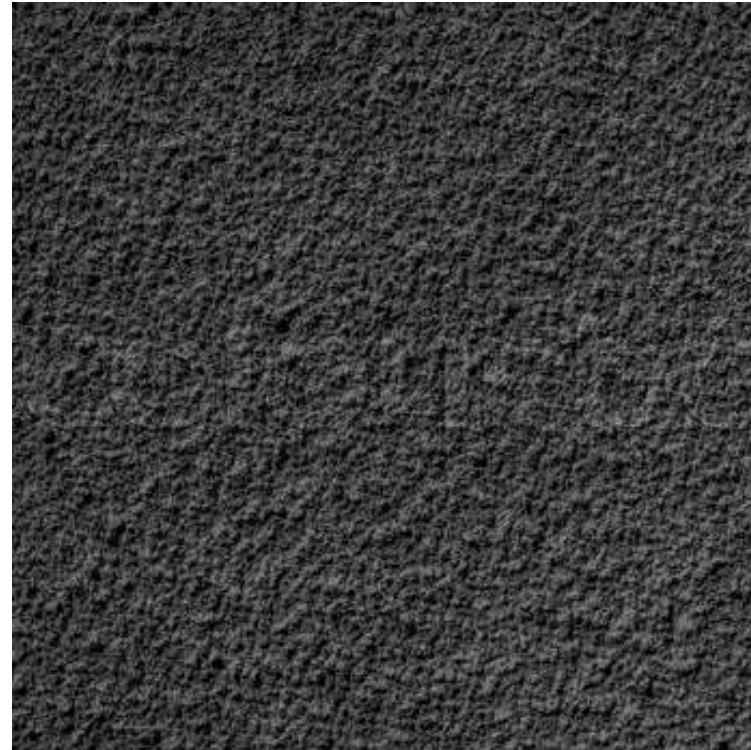
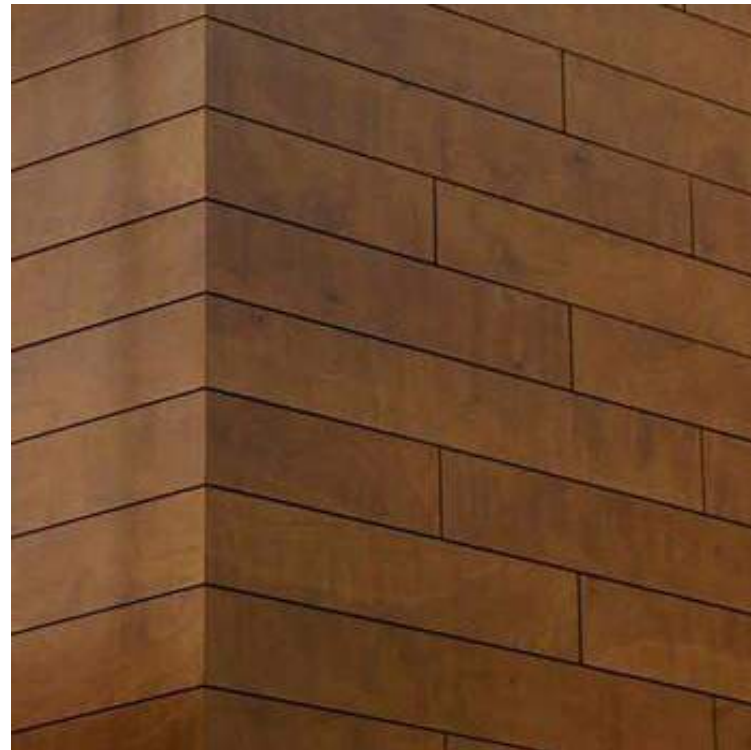
P. G.C. TO COORDINATE AND VERIFY ELEVATION OF FLOOR SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINAL FINISH SLAB IS LEVEL W/ T.O.S.

Q. ALL WINDOWS U.O.N. SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.

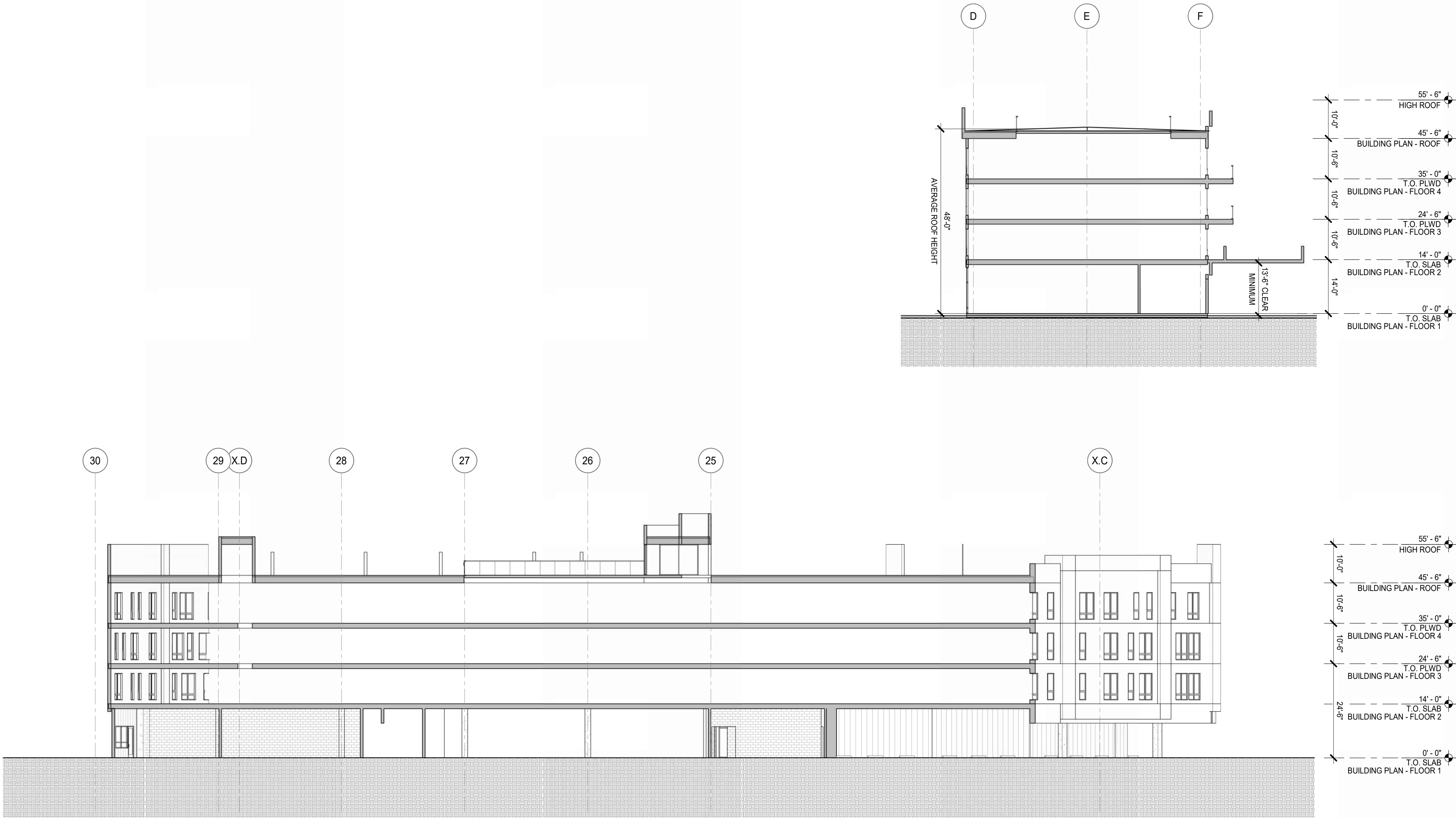
R. ADDRESS SIGNAGE ON BUILDING ELEVATION SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND WITH A MINIMUM STROKE WIDTH OF 1/2" WIDE. INSTALL ON A CONTRASTING BACKGROUND PER CBC 501.2

S. ALL EXTERIOR MATERIALS RETURN TO THE NEXT INSIDE CORNER U.O.N.





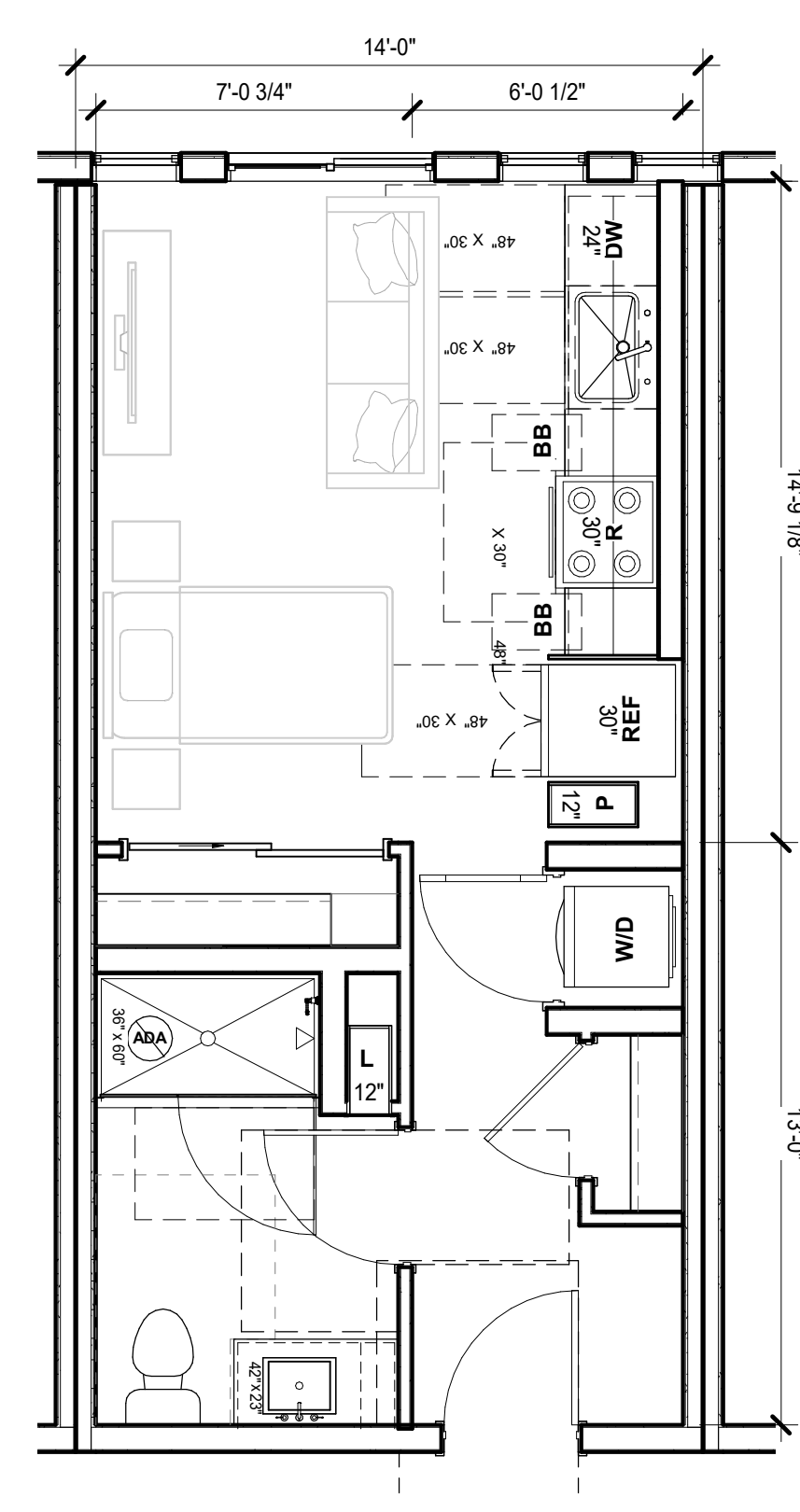
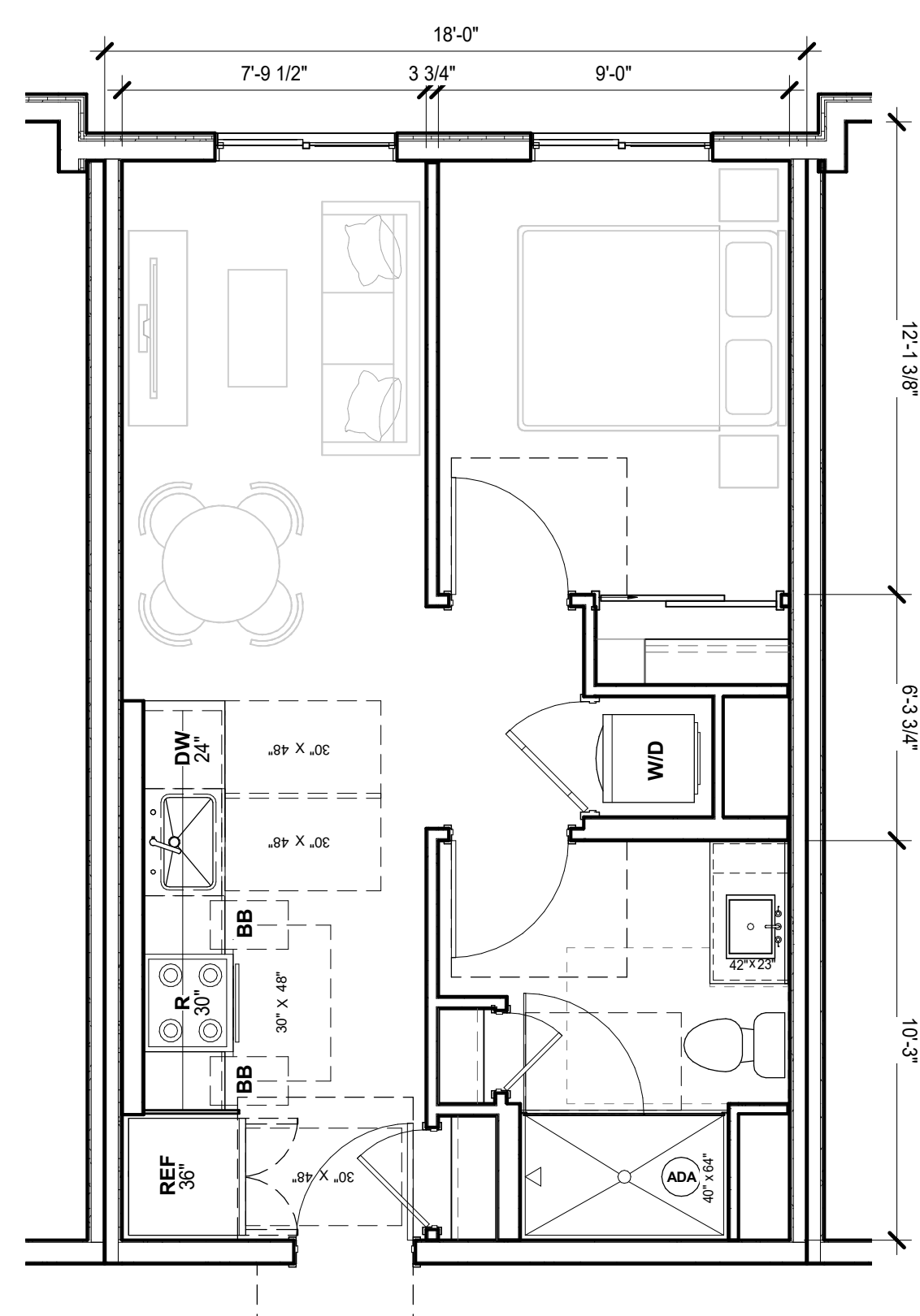
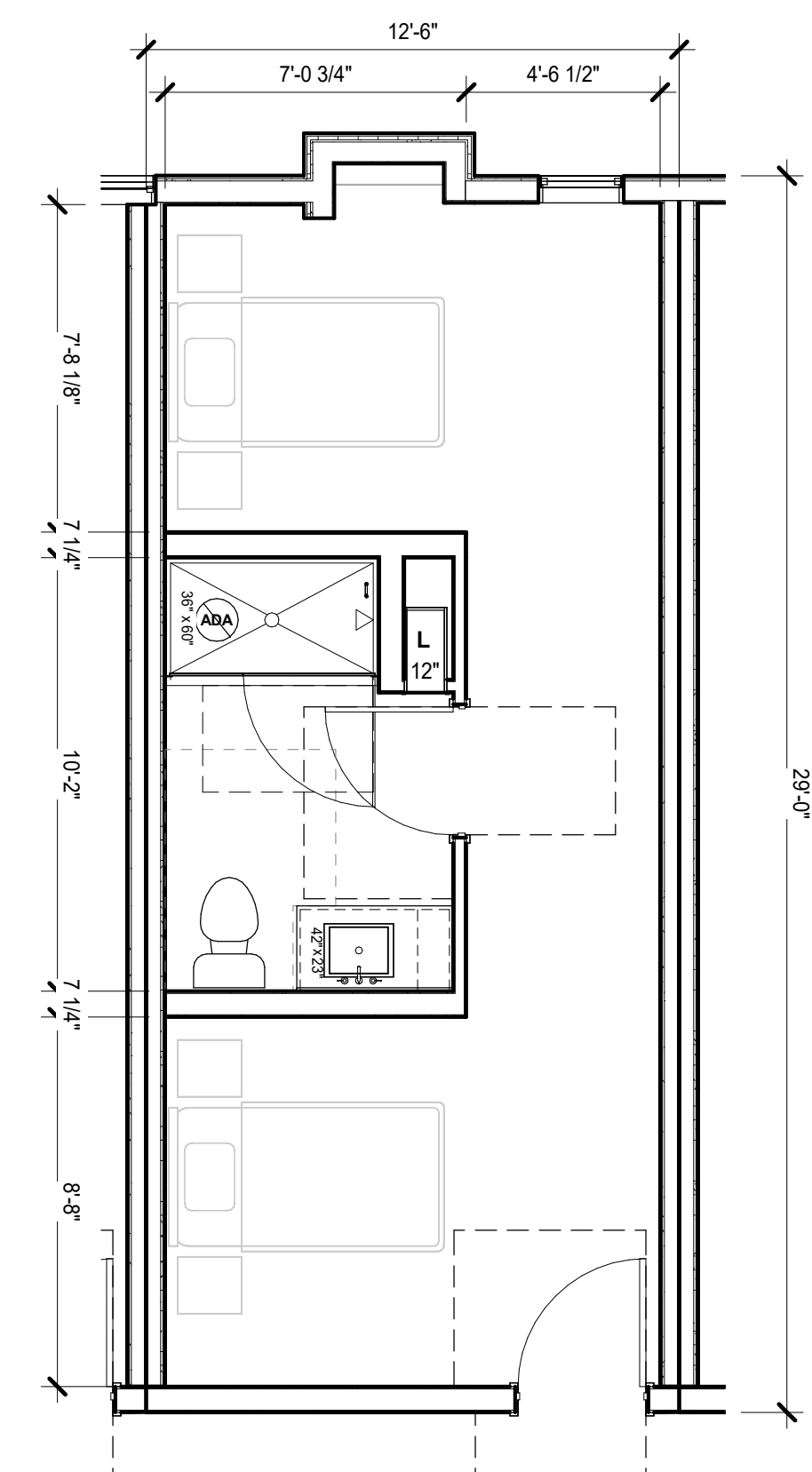
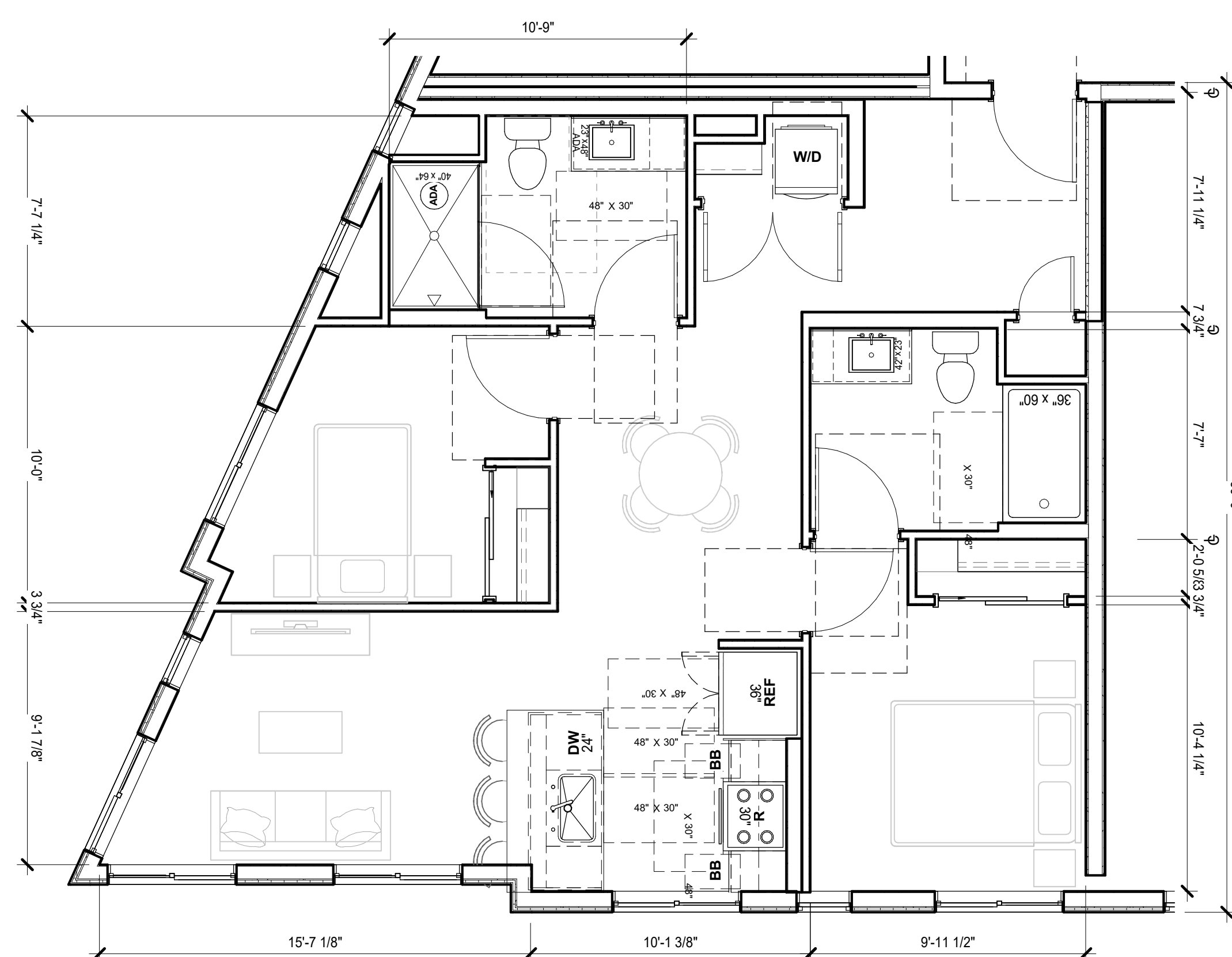
- GENERAL NOTES**
- A. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
 - B. SITE ELEVATION HEIGHT OF 115.5' = 0'-0" DATUM.
 - SEE A0.2 FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
 - C. SEE SHEET A10.0 FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
 - D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
 - E. G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
 - F. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
 - G. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 3/8"FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
 - H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2408 AND AS REQUIRED BY CHAPTER 7.
 - I. G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
 - J. CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
 - K. THRESHOLDS MUST BE ADA COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS.
 - L. CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND ADA COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND ADA SHOWERS SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE G.C. SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD AND ARE EXPECTED TO ADD TO THE GMP THESE REQUIREMENTS AND COSTS.
 - M. THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALL BOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
 - N. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
 - O. G.C. TO COORDINATE AND VERIFY ELEVATION OF TOP OF SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINISH SIDEWALK IS LEVEL W/ T.O.S.
 - P. ALL WINDOWS SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
 - Q. ADDRESS SIGNAGE ON BUILDING ELEVATION ARE TO BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND A MINIMUM OF 1/2" WIDE, INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2

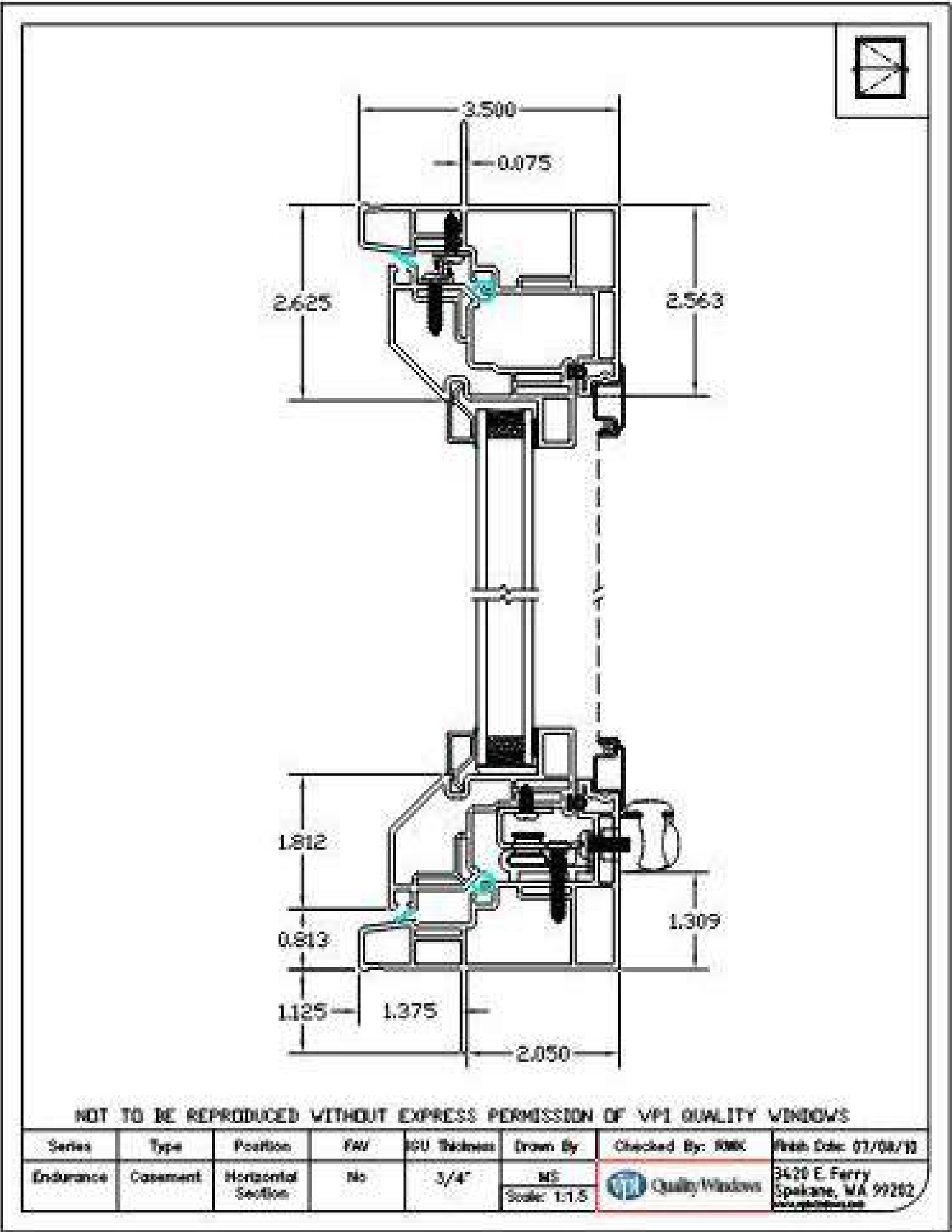
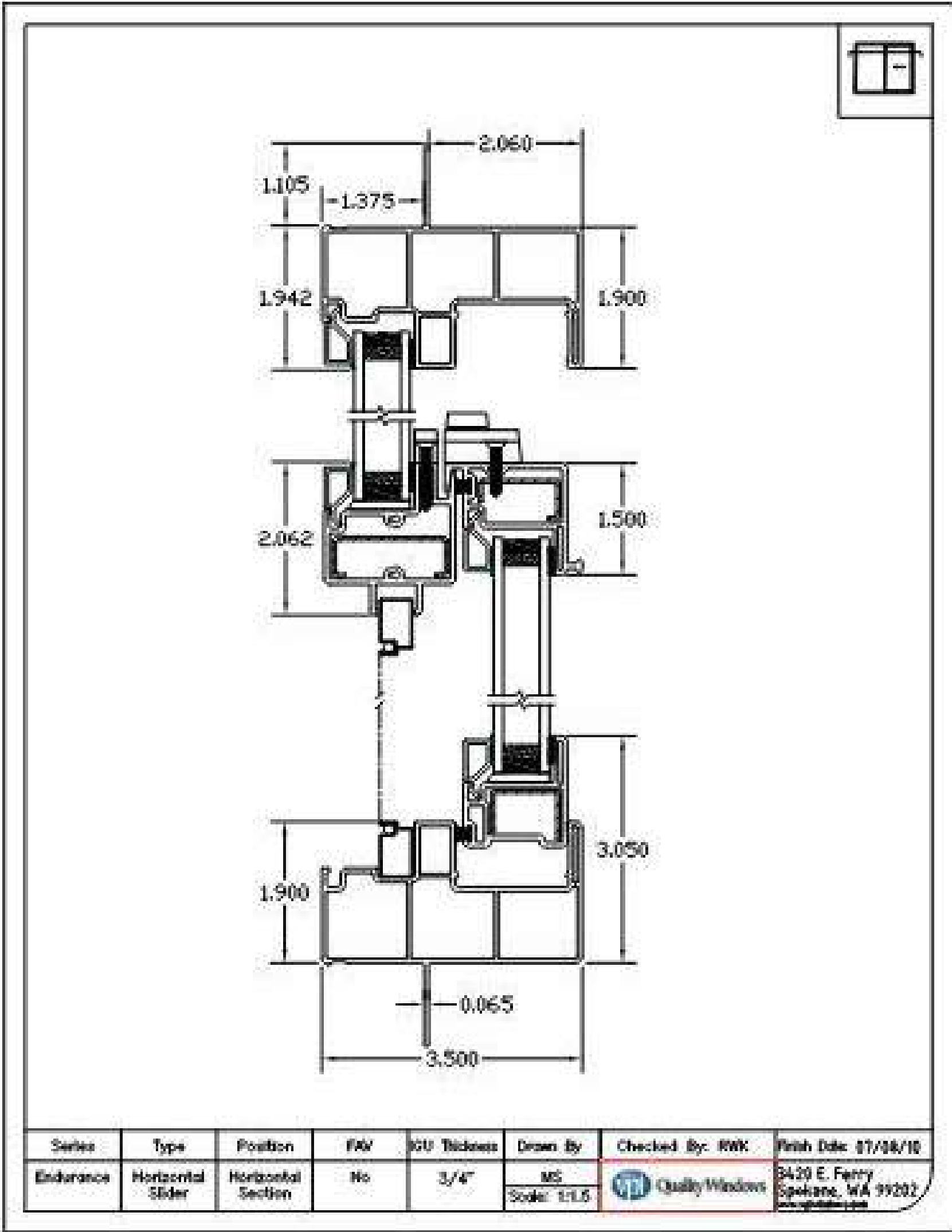
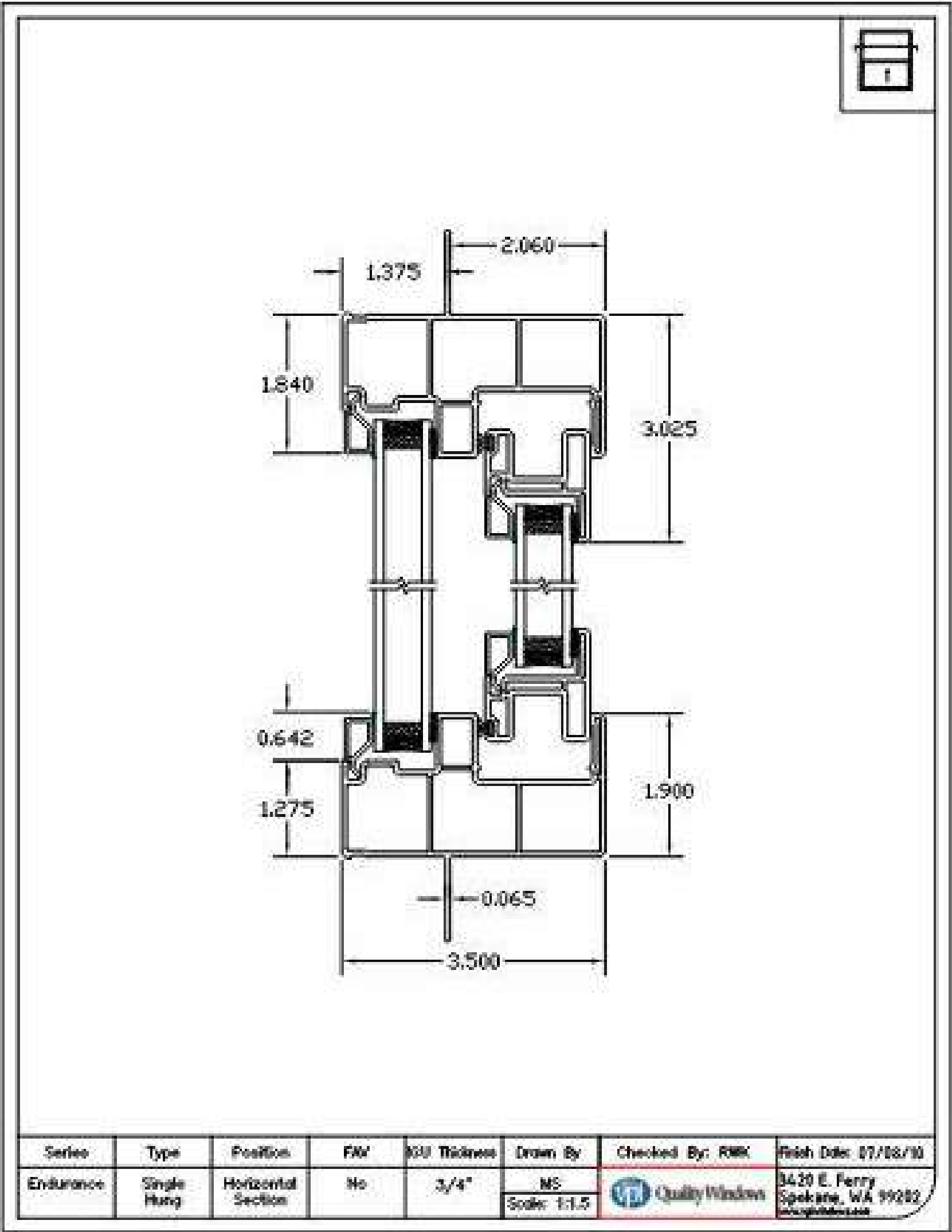
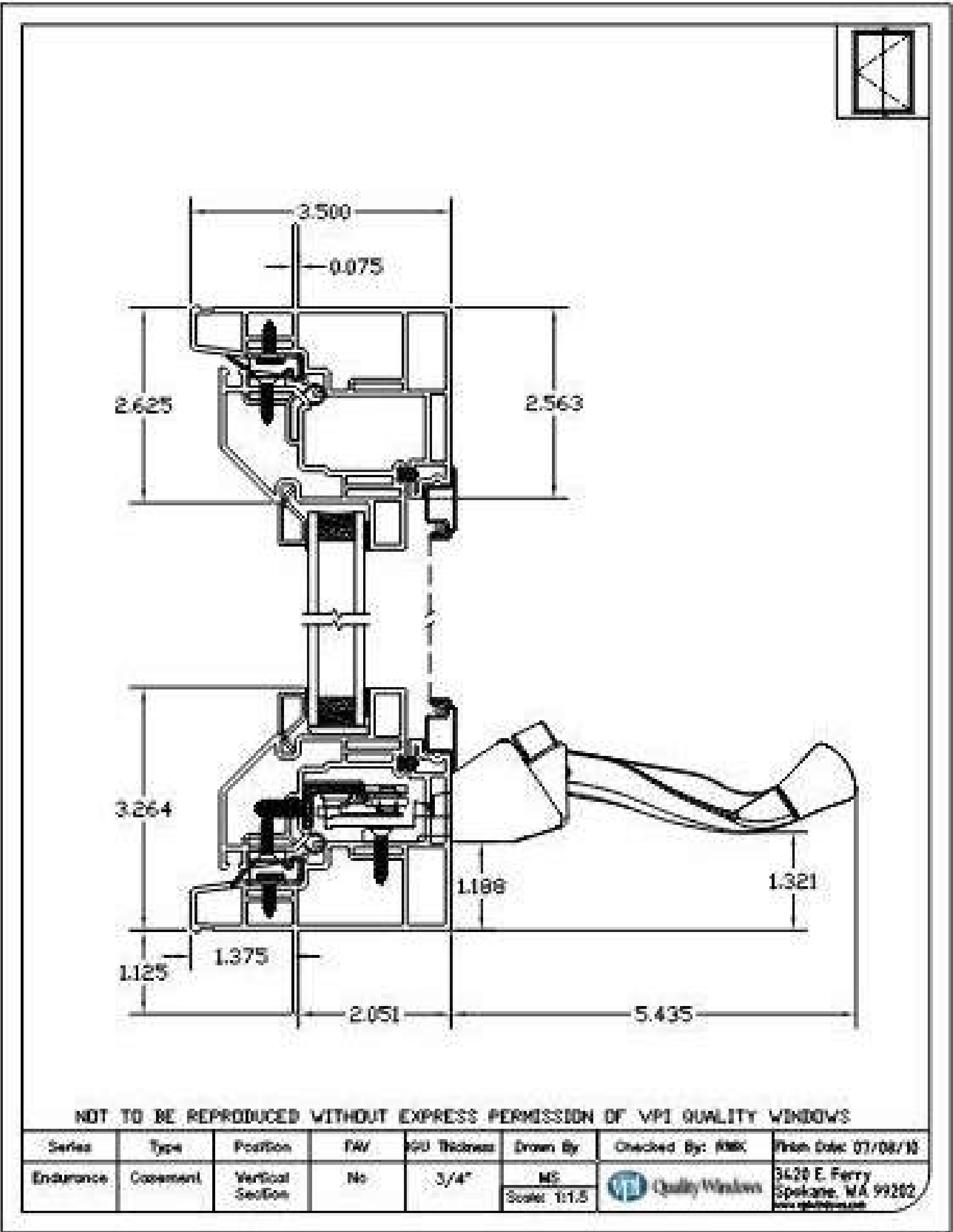
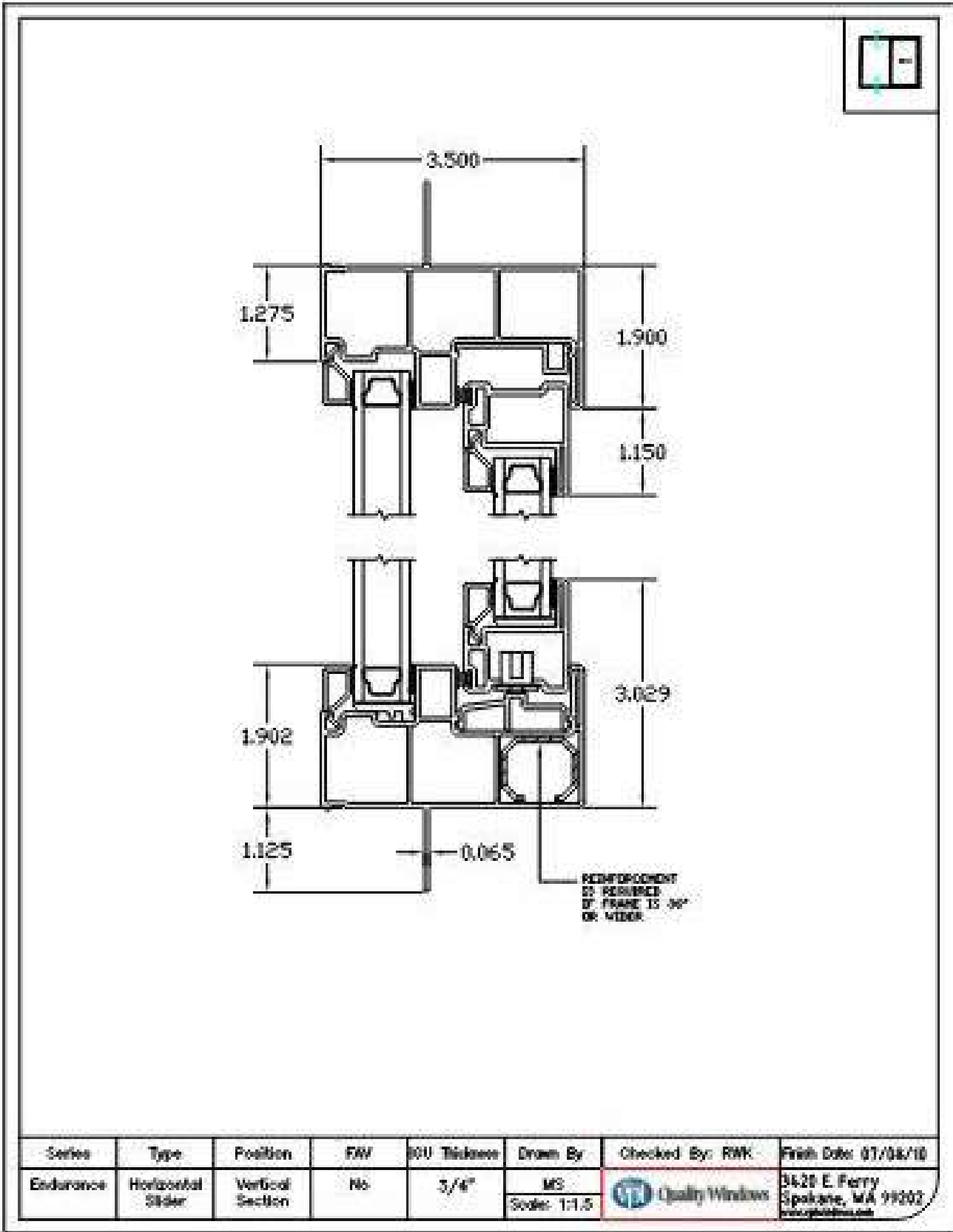
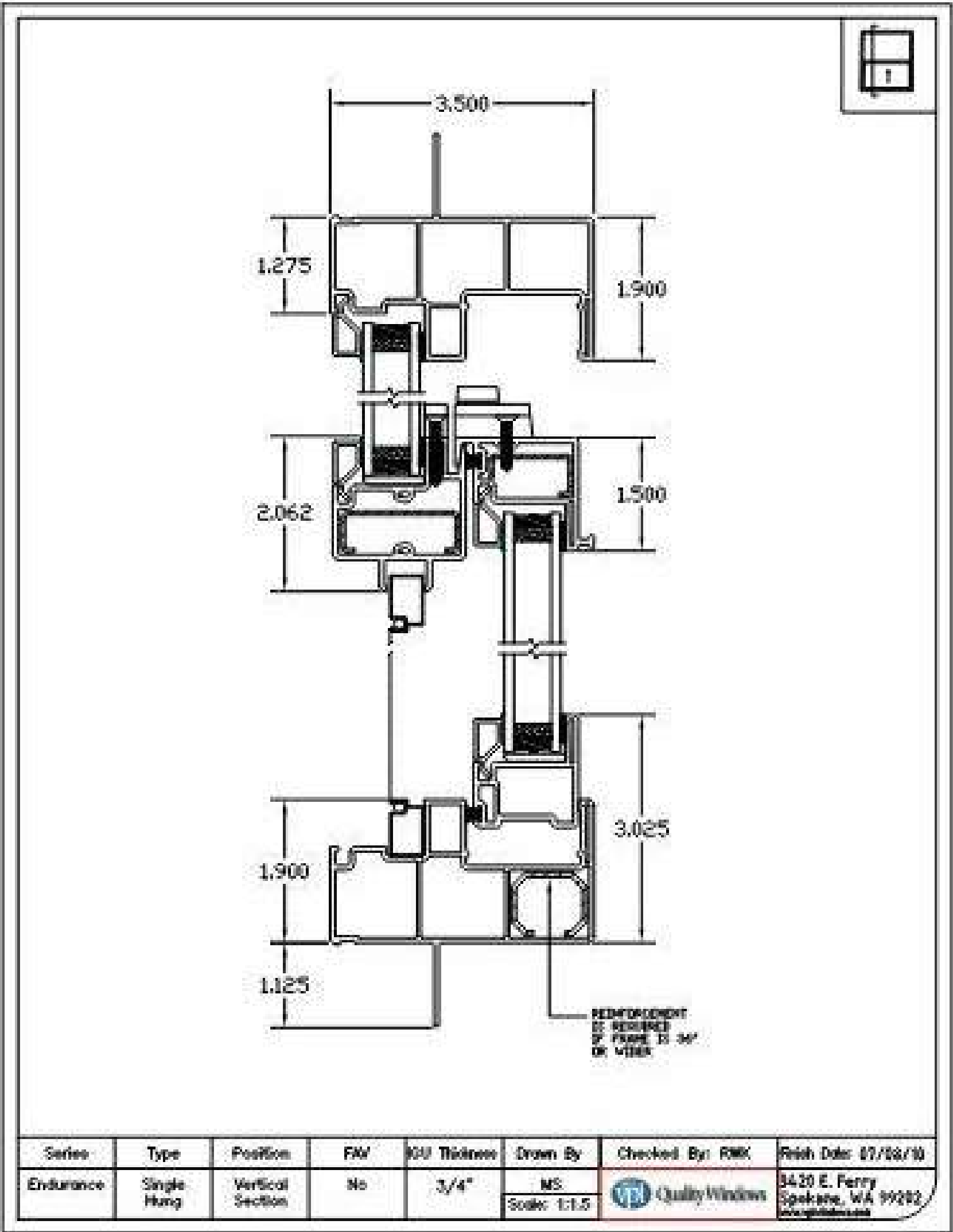


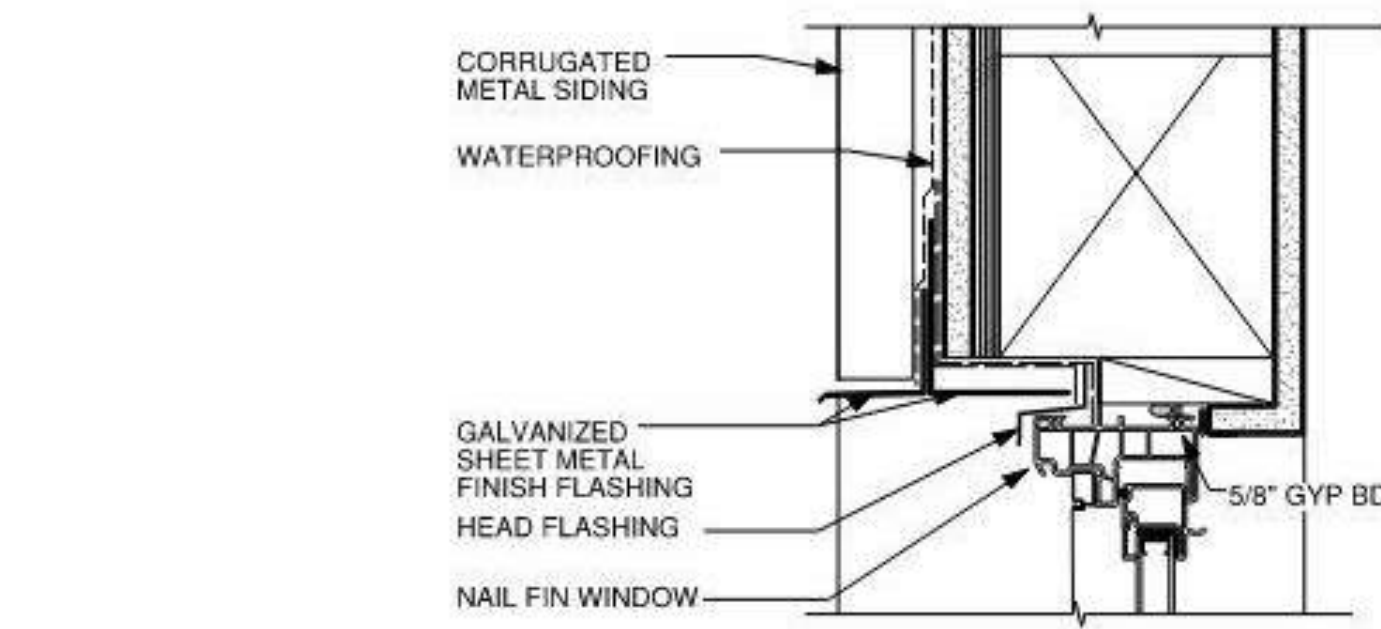




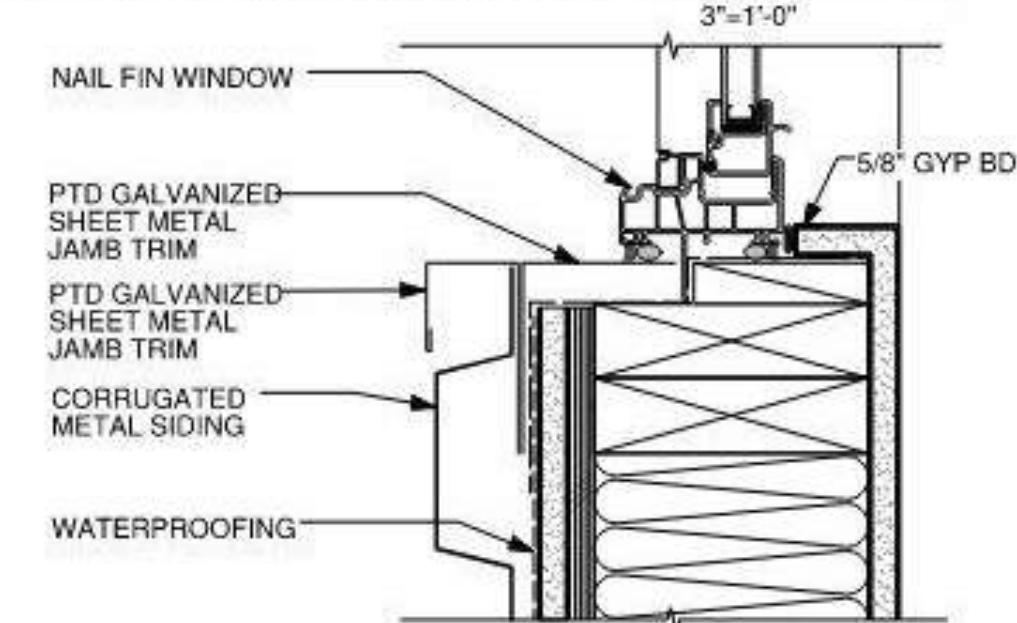




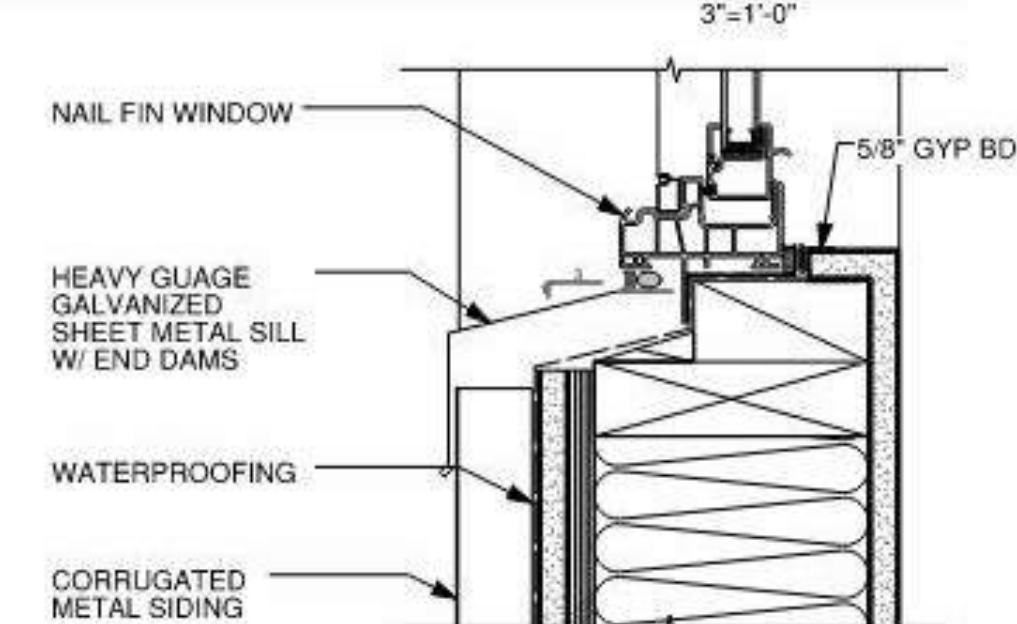




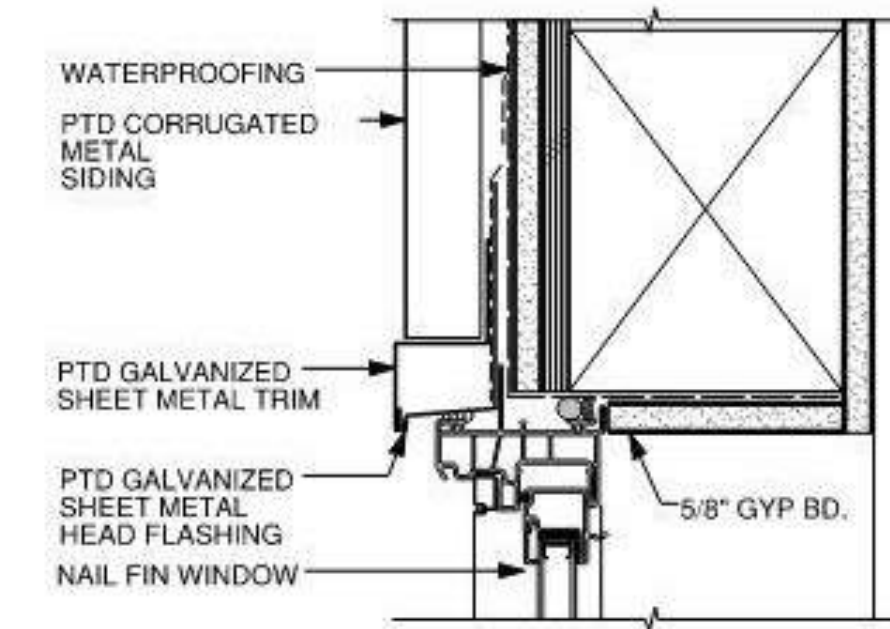
RECESSED WINDOW - CORRUGATED METAL SIDING - HEAD 18



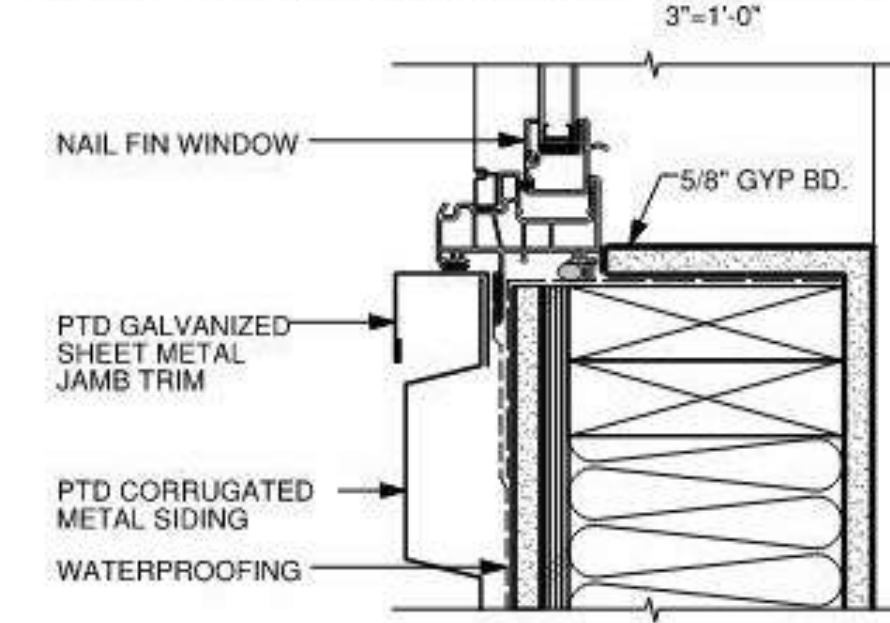
RECESSED WINDOW - CORRUGATED METAL SIDING - JAMB 17



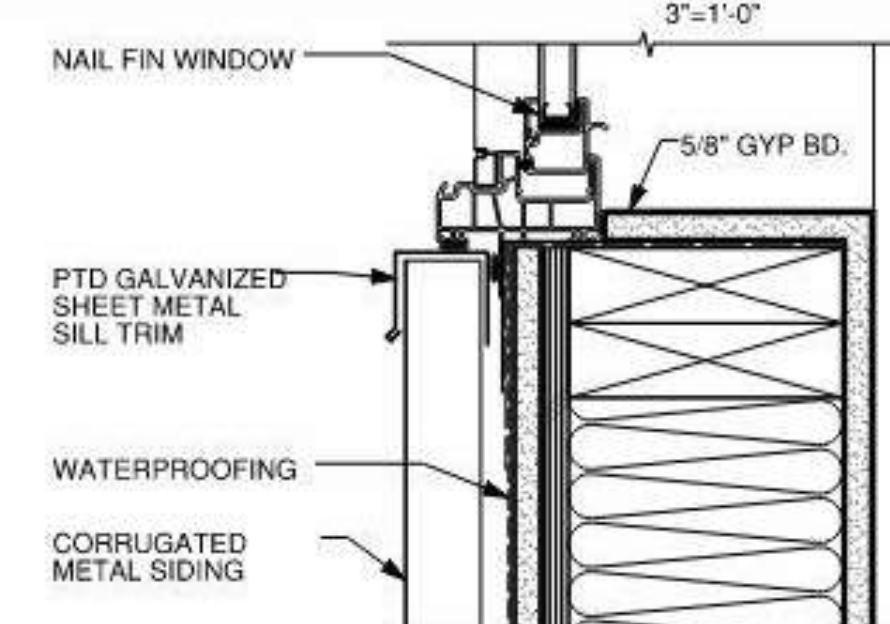
RECESSED WINDOW - CORRUGATED METAL SIDING - SILL 16



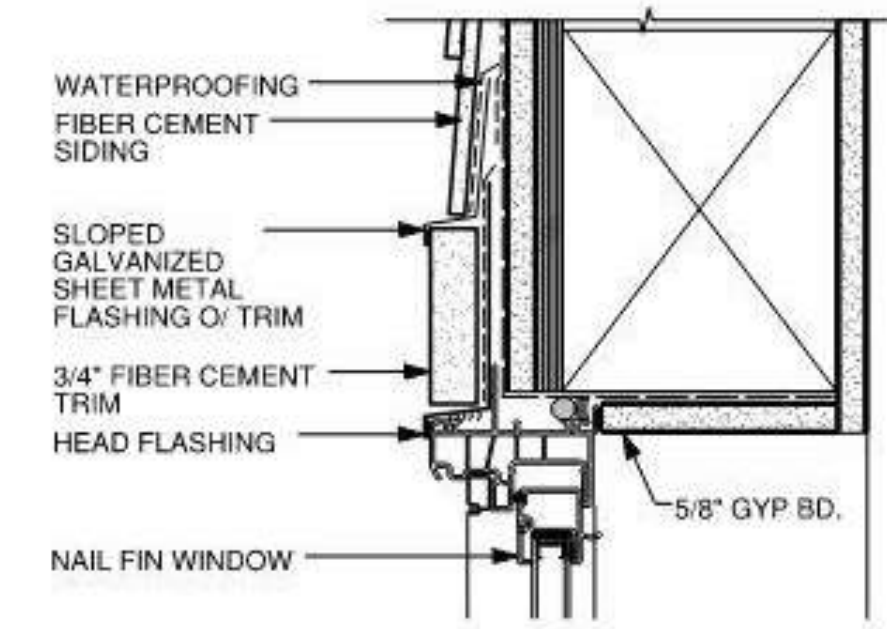
WINDOW - CORRUGATED METAL SIDING - HEAD 13



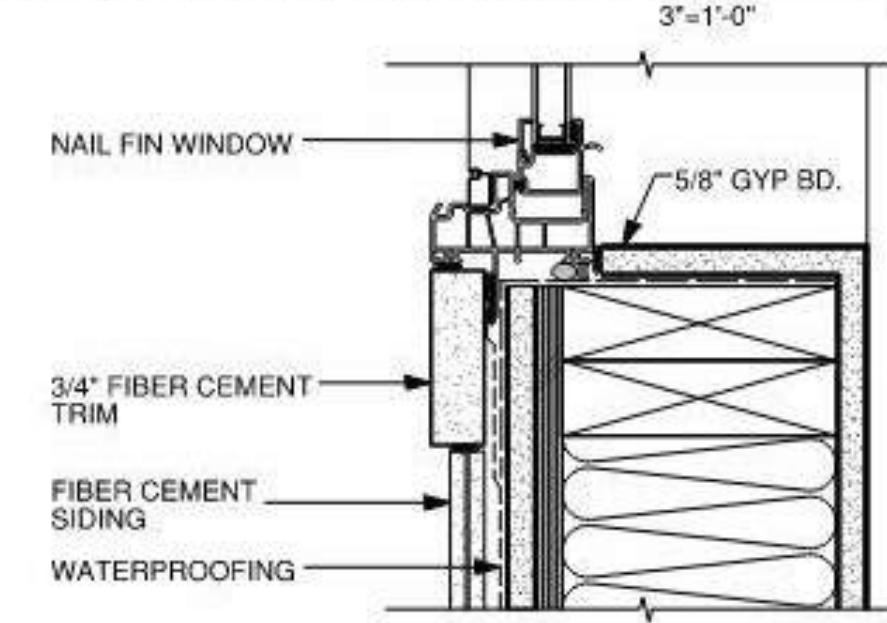
WINDOW - CORRUGATED METAL SIDING - JAMB 12



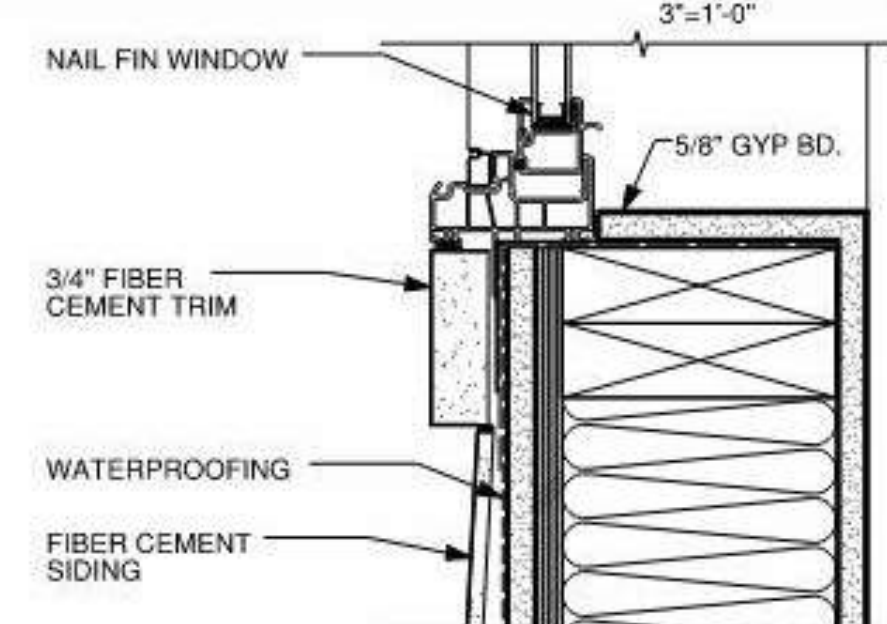
WINDOW - CORRUGATED METAL SIDING - SILL 11



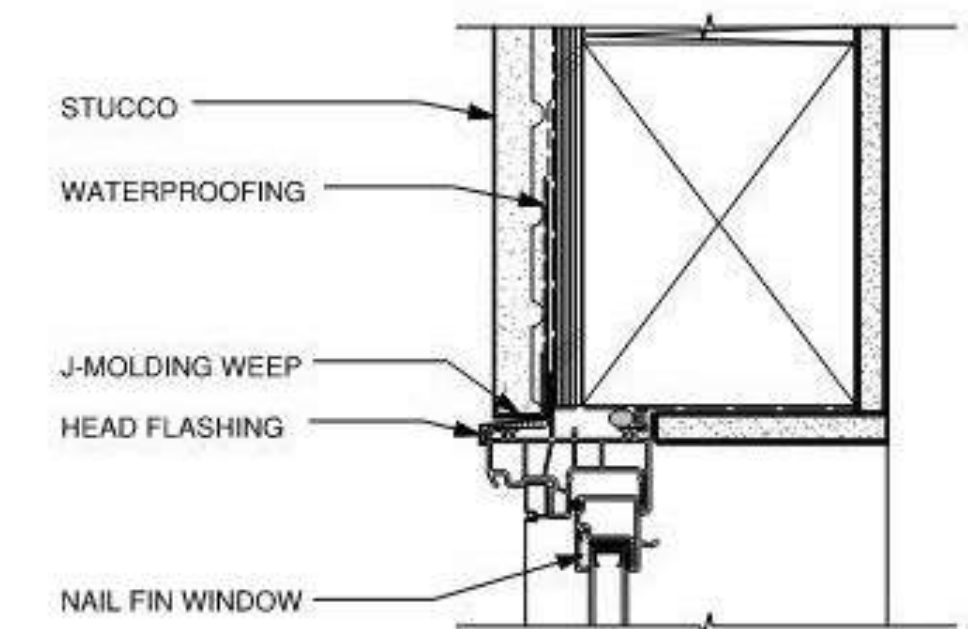
WINDOW - FIBER CEMENT LAP SIDING- HEAD 9



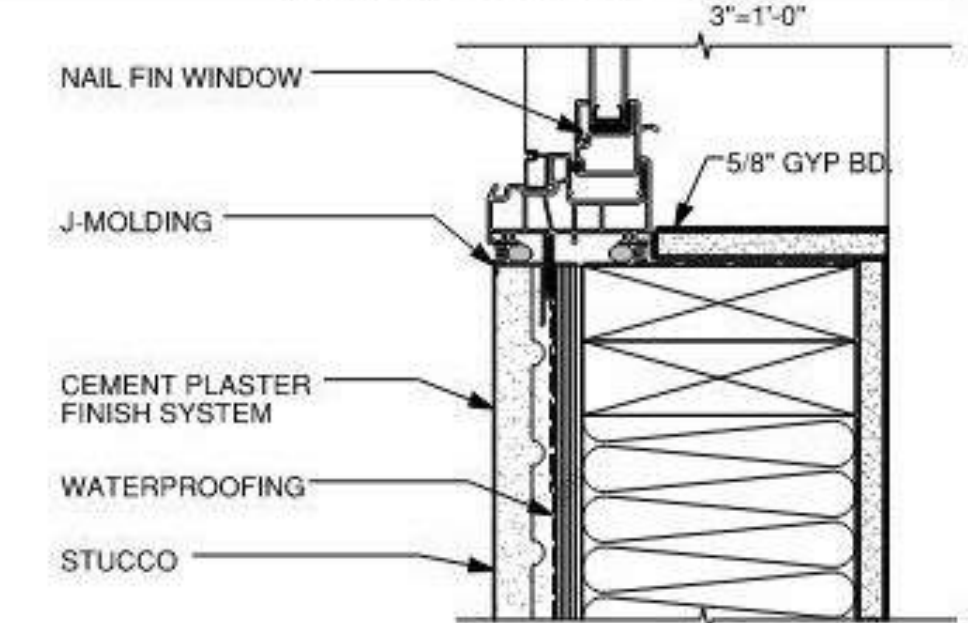
WINDOW - FIBER CEMENT LAP SIDING- JAMB 8



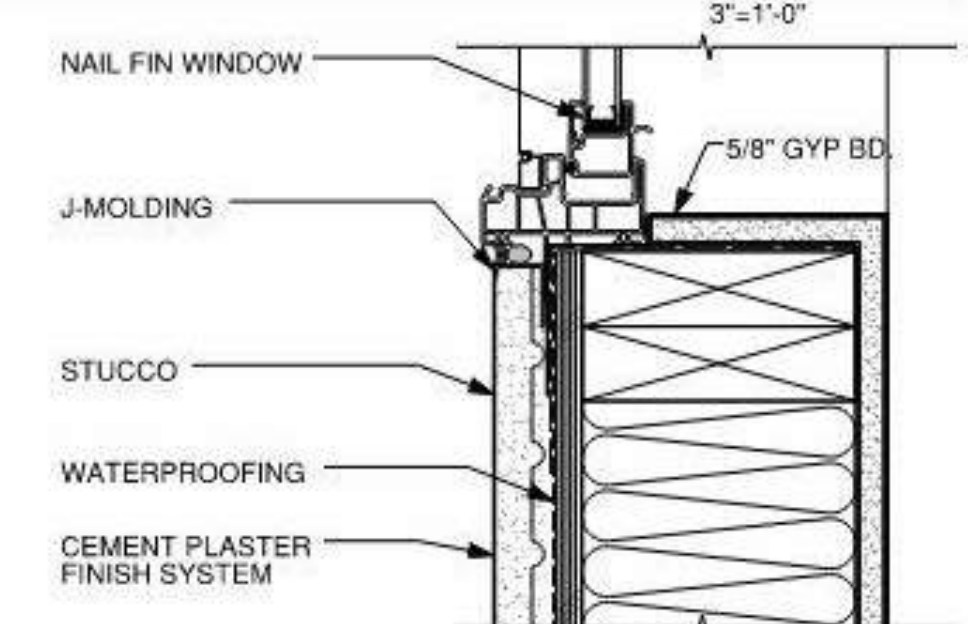
WINDOW - FIBER CEMENT LAP SIDING- SILL 7



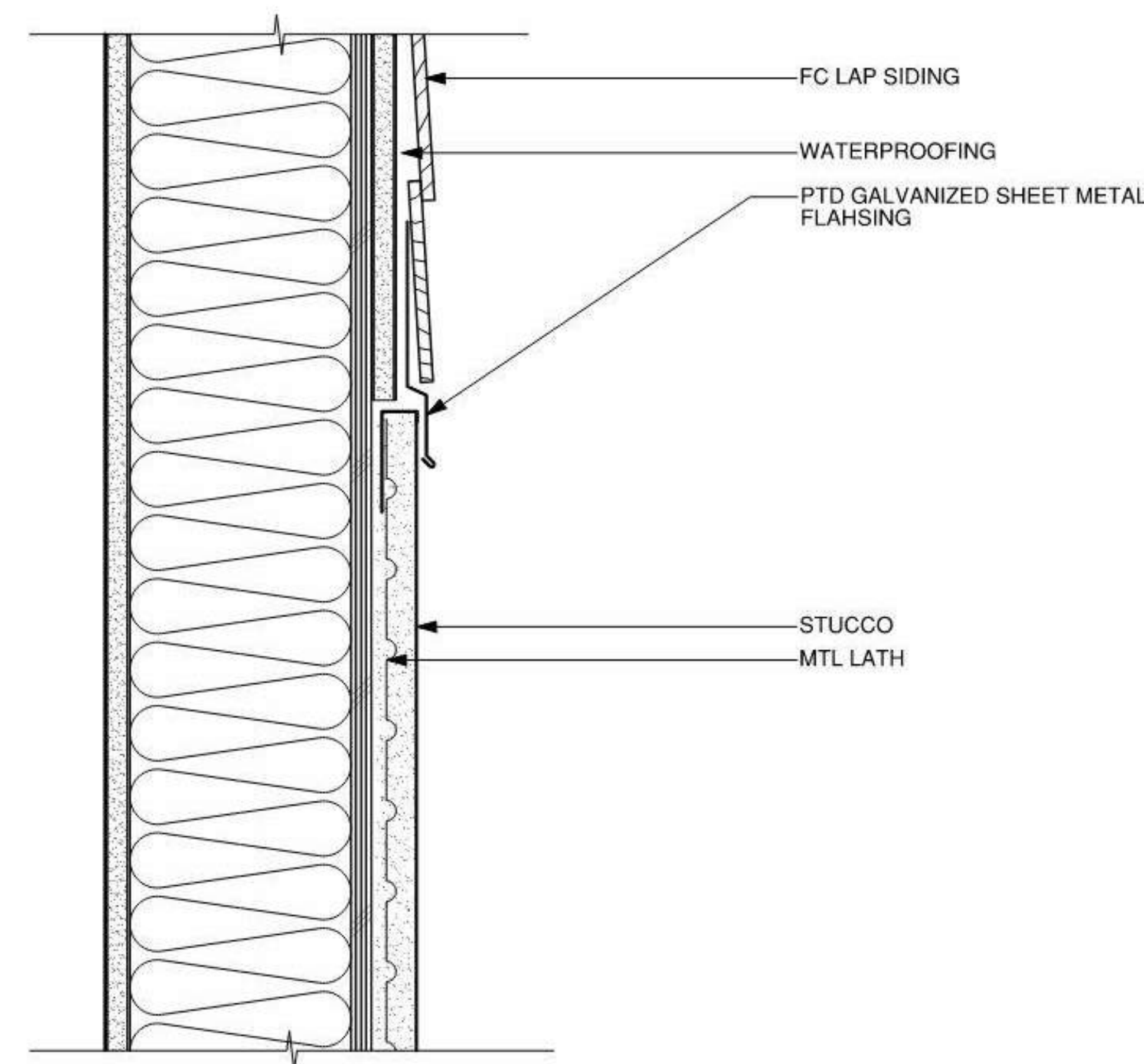
WINDOW - STUCCO - HEAD 4



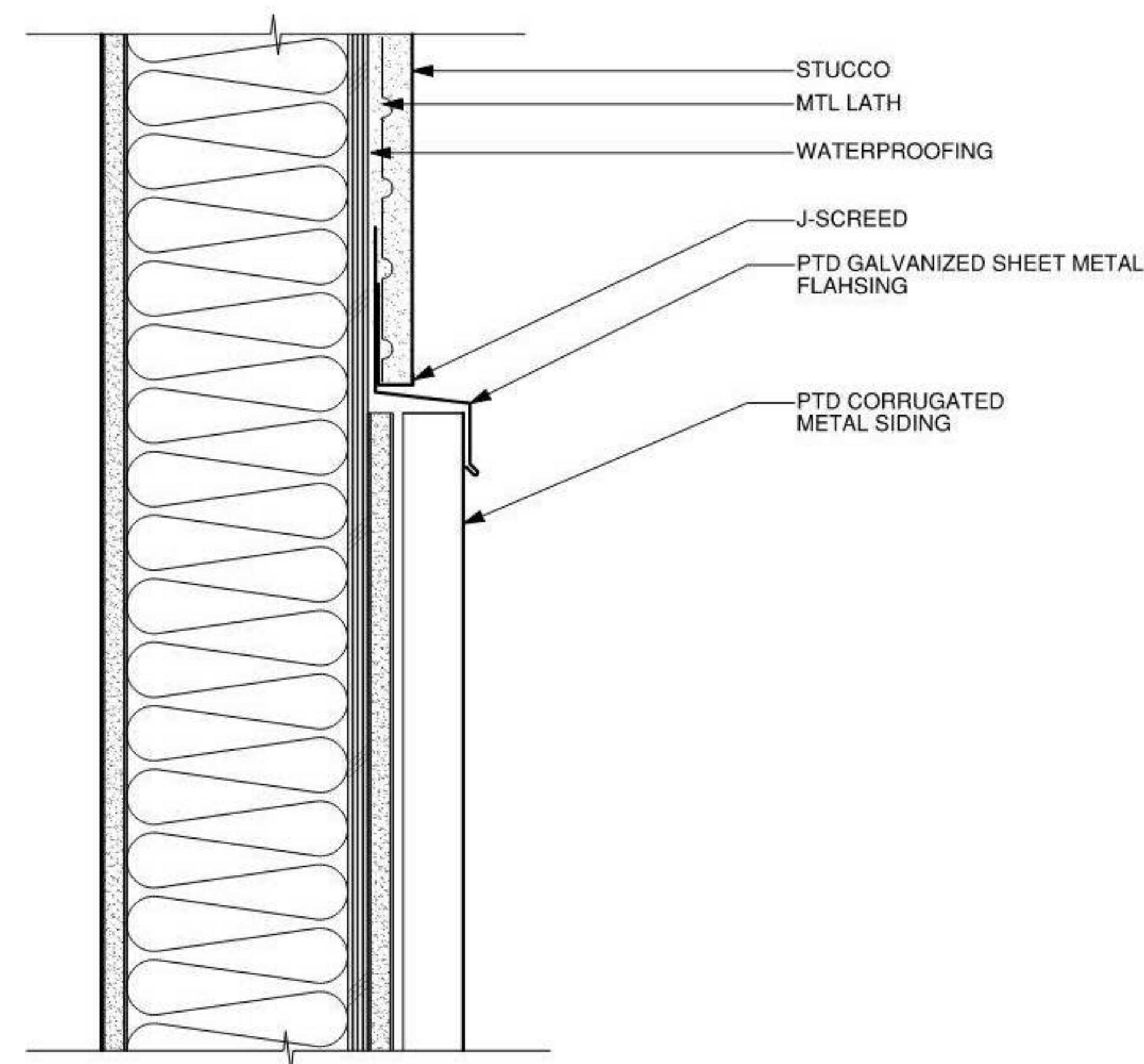
WINDOW - STUCCO - JAMB 3



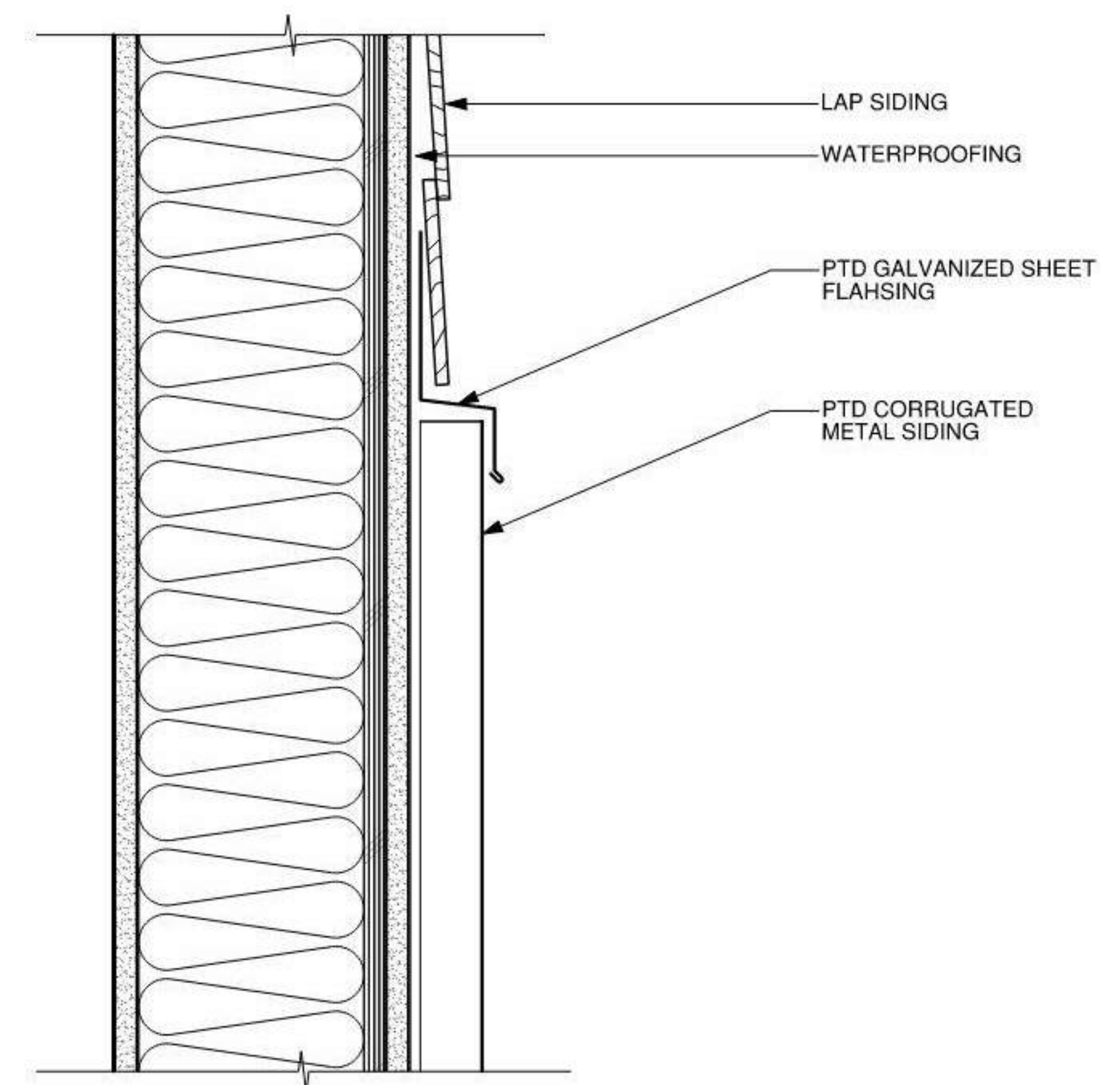
WINDOW - STUCCO - SILL 2



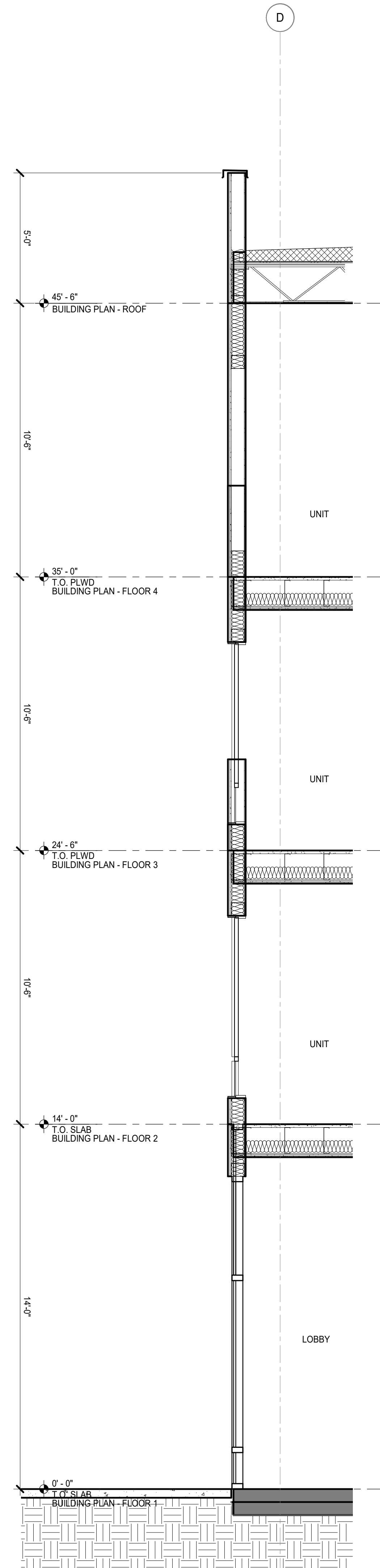
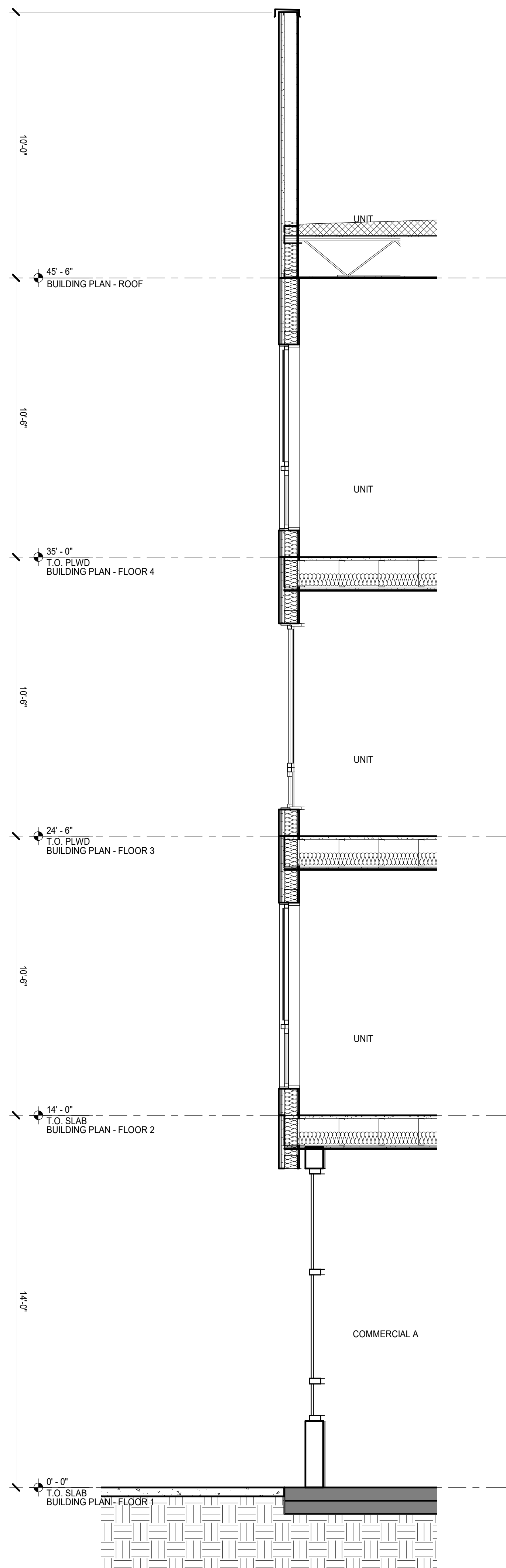
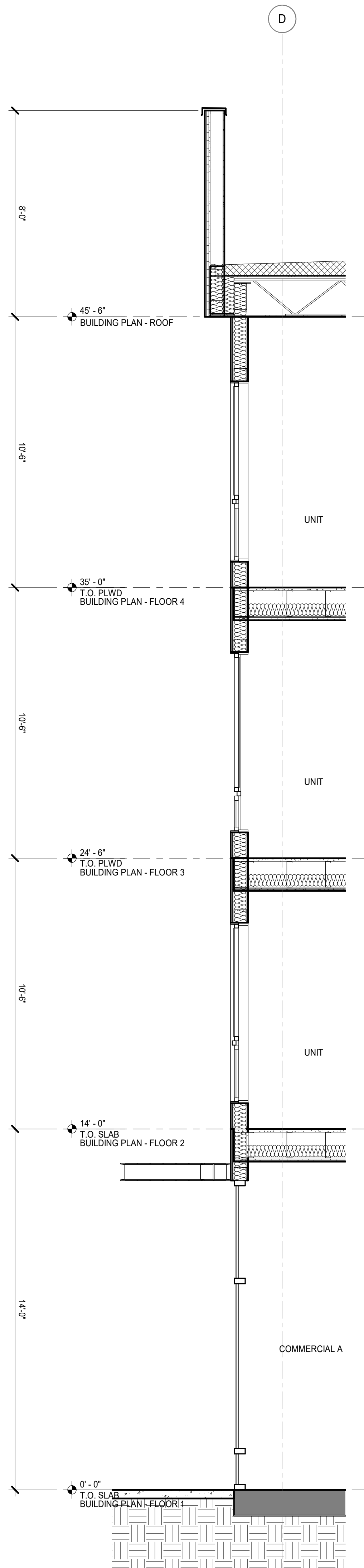
FC LAP SIDING TO STUCCO 10



STUCCO TO CORRUGATED MTL SIDING 6



FIBER CEMENT LAP SIDING TO CORRUGATED MTL SIDING 1



- GENERAL NOTES**
- A. SITE ELEVATION HEIGHT OF XXX'-XX" = 0'-0".
 - B. G.C. SHALL COORDINATE EXTERIOR FINISHES WITH EXTERIOR ELEVATIONS.
 - C. SEE SHEETS A10.00 & A10.01 FOR WALL TYPE SCHEDULE AND FLOOR/ROOF ASSEMBLIES.
 - D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
 - E. GC TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER FRAMED VOIDS.
 - F. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS. NOT EVERY OCCURRENCE OF GSM FLASHING IS SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS.
 - G. SOLDERED TRANSITION FLASHING (STF) SHOWN ARE TYPICAL. NOT ALL LOCATIONS ARE INDICATED. STF'S SHALL BE REQUIRED AT ALL 3-DIMENSIONAL TRANSITIONS OF PLANES OR MATERIALS. PROVIDE SHOP DRAWINGS THAT FULLY DEPICT ALL REQUIRED STF'S FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 - H. SEE ROOF PLANS AND ELEVATIONS FOR PARAPET HEIGHTS.
 - I. ROOF SLOPES NOTED ARE MINIMUMS. GC TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
 - J. GC SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
 - K. NOT EVERY OCCURRENCE OF SEALANTS ARE SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE SEALANTS AS REQ. AT ALL MATERIAL TRANSITIONS.
 - L. THRESHOLDS SHALL BE COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR, 1/2" MAX HEIGHT.
 - M. CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND TO SHOWERS.
 - N. GC SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE GC SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD.
 - O. THE GC SHALL INCLUDE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
 - P. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
 - Q. NOT EVERY ASPECT OF EVERY FIRE STOPPING DETAIL IS INDICATED IN THE CDS. THE GC SHALL INCLUDE ALL FIRE STOPPING, SAVING THAT WILL BE REQUIRED TO COMPLETE THE PROJECT AND RECEIVE APPROVAL FROM LOCAL INSPECTORS.
 - R. PROVIDE REQUIRED EXTENSION OF THE ONE-HOUR OR TWO EXTERIOR WALL CONSTRUCTION THROUGH ATTIC. USE DOUBLE BLOCKING AND OR RATED GWB TO UNDERSIDE OF ROOF SHEATHING.
 - S. DRAFT STOPS REQUIRED PER CBC 718.3 SHALL BE 1/2" SHEATHING TO UNDERSIDE OF ROOF OR APPROVED EQUAL.
 - T. GC TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
 - U. ALL GUARDRAILS SHALL BE 43" AFF