

500 HOPPER

SENIOR & MARKET-RATE HOUSING
DEVELOPMENT PLANNING
RESUBMISSION 1 - MAY13, 2022



Reflector
 Reflective Shit
 Reinforce (d), (ing)
 Remove
 Remedy
 Return
 Return
 Revision (s), Review
 Roof
 Roof Drain
 Roof Hatch
 Roofing
 Room
 Rough Opening
 Rough Surface
 Rubber Tire
 Rain Water Leader
 Suspended Acoustic
 Suspended Shit
 Safety Glass
 See Civil (Eng) Draw
 Schedule
 Section
 Sealant
 Section
 Seize Sink
 Sheathing
 Sheet
 See Landscape Draw
 Shit
 Shit Glass
 Similar
 See Landscape Draw
 Solid Core
 See Mechanical Draw
 Soundproof
 See Plumbing Draw
 Speaker
 Square Feet
 Squaring (s)
 Square
 Stainless Steel
 Structural Draw
 Standard
 Station
 Storage
 Storm Drain
 Square Feet
 Suspended
 Symmetry (ical)
 Sheet Vinyl
 Slope Coefficient
 Telephone
 Television
 Thick (ness)
 Threshold
 Toilet Paper Dispenser
 Trash
 Top of Plate
 Top of Slab
 Top of Steel
 Top of Wall
 Towel Bar
 Trend
 Typical
 Unfinished
 Unless Otherwise
 Urinal
 Vaulted
 Veneer
 Vapor Barrier
 Veneer
 Vertical
 Vertical Grain
 Vinyl
 Vinyl Acoustic Tile
 Vinyl Base
 Vinyl Composite Tile
 With
 Wainscot
 Wall To Wall
 Wall
 Water Closet
 Waterproofing, Water
 Waterproofing
 Water Repellant
 Weather Resistant
 Weather Proof Member
 Welded Wire Fabric
 Window
 Window Glass
 Wire Mesh
 Without
 Wood
 Wood Base
 Wrought Iron

PARKING RANGE 116-162 SPACES

ACCESSIBILITY

100% OF UNITS SHALL BE ADAPTABLE, PER CBC 2021 CHAPTER 11A
ALL COMMON USE AREAS SHALL BE ACCESSIBLE PER CBC 2021 CHAPTER 11A
ALL PUBLIC AREAS SHALL BE ACCESSIBLE PER CBC 2021 CHAPTER 11B

NOTE: DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G., WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.

CONSULTANT

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

•	•	AP7.00	WALL SECTION
•	•	AP7.01	WALL SECTION

OWNER:
SPIRIT LIVING GROUP
101 LARKSPUR LANDING CIRCLE #220
LARKSPUR, CA 94059
P: (415) 480-6180
CONTACT: AMIR KIA
CONTACT: ALI KIA SHABAHANGI

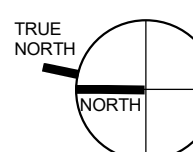
ARCHITECT:
BOE ARCHITECTURE
950 HOWARD STREET
SAN FRANCISCO, CA 94103
P: (415) 67-6966
CONTACT: JON ENNIS

CIVIL ENGINEER:
STEVEN J. LAFRANCHI & ASSOCIATES, INC.
140 SECOND ST., STE 312
PETELUMA, CA 94502
P: (707) 762-3122
CONTACT: STEVE LAFRANCHI

DEFERRED SUBMITTALS 3**APPLICABLE CODES 2**

PROJECT TEAM 1

SHEET TITLE: _____
SCALE: As indicated
PROJ. #. 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42



AP0.00

500 HOPPER
PROJECT #: 2110
BUILDING 1 (LOT 6) UNIT AND AREA SUMMARY
Revised - 06/08/2022

Unit Area Measured to Centerline of Demising; Exterior Face of Corridor and Exterior Wall											
UNIT TYPE	Unit Type	Total SQ FT	Floor Levels						Unit Total	%	Rentable Area
			1ST	M	2ND	3RD	4TH	Roof			by Type
STUDIO / JR 1BR	S2.0	406	-	-	2	2	2	-	6	4.5%	2,436 SF
	S3.0	417	-	-	2	2	2	-	6	4.5%	2,502 SF
	S4.0	411	-	-	2	2	2	-	6	4.5%	2,466 SF
TOTAL UNITS			0	0	6	6	6	0	18	13.4%	7,404 SF
Rentable Residential by floor (PP)			-	-	2,468 SF	2,468 SF	2,468 SF	-			
1 BEDROOM	A1.0	630	-	-	11	11	11	-	33	24.6%	20,790 SF
	A2.0	625	-	-	4	4	4	-	12	9.0%	7,500 SF
	A3.0	631	-	-	4	4	4	-	12	9.0%	7,572 SF
	A4.0	625	-	-	2	2	2	-	6	4.5%	3,750 SF
	A5.0	548	-	-	1	1	1	-	3	2.2%	1,644 SF
	A6.0	458	-	-	1	1	1	-	3	2.2%	1,374 SF
	A7.0	433	-	-	1	1	1	-	3	2.2%	1,299 SF
TOTAL UNITS			0	0	24	24	24	0	72	53.7%	43,929 SF
Rentable Residential by floor (PP)			-	-	14,643 SF	14,643 SF	14,643 SF	-			
2 BEDROOM	B1.0	944	-	-	2	2	2	-	6	4.5%	5,664 SF
	B2.0	916	-	-	4	4	4	-	12	9.0%	10,992 SF
	B3.0	891	-	-	2	2	2	-	6	4.5%	5,346 SF
	B4.0	1280	-	-	2	2	2	-	6	4.5%	7,680 SF
TOTAL UNITS			0	0	10	10	10	0	30	22.4%	29,662 SF
Rentable Residential by floor (PP)			-	-	9,894 SF	9,894 SF	9,894 SF	-			
WORK LIVE	WL1.0	768	1	-	-	-	-	-	1	0.7%	1,040 SF
	WL1.0-M	272	-	-	-	-	-	-	-	-	-
	WL1.1	783	2	-	-	-	-	-	2	1.5%	2,110 SF
	WL1.1-M	272	-	-	-	-	-	-	-	-	-
	WL1.2	799	1	-	-	-	-	-	1	0.7%	1,068 SF
	WL1.2-M	269	-	-	-	-	-	-	-	-	-
	WL2.0	1034	1	-	-	-	-	-	1	0.7%	1,442 SF
	WL2.0-M	408	-	-	-	-	-	-	-	-	-
	WL3.0	980	7	-	-	-	-	-	7	5.2%	9,688 SF
	WL3.0-M	404	-	-	-	-	-	-	-	-	-
	WL4.0	999	2	-	-	-	-	-	2	1.5%	3,508 SF
	WL4.0-M	755	-	-	-	-	-	-	-	-	-
TOTAL UNITS			14	0	0	0	0	0	14	10.4%	18,856 SF
Rentable Residential by floor (PP)			13,025 SF	5,831 SF	-	-	-	-			
TOTAL UNITS			14	0	40	40	40	0	134	100%	99,871 SF
Avg. Unit Size											
Rentable Residential by floor (PP)			13,025 SF	5,831 SF	27,005 SF	27,005 SF	27,005 SF	-	99,871 SF		99,871 SF
Bike Room			312 SF	-	-	-	-	-			312 SF
BOH			1,190 SF	-	-	-	-	-			1,190 SF
Vertical Circulation			640 SF	454 SF	503 SF	580 SF	580 SF	-			2,757 SF
Club Room			3,528 SF	-	-	-	-	-			3,528 SF
Corridor			182 SF	-	2,301 SF	2,301 SF	2,301 SF	-			7,085 SF
Fitness			-	1,797 SF	-	-	-	-			1,797 SF
Coworking			-	1,768 SF	-	-	-	-			1,768 SF
Public Easement			1,483 SF	-	-	-	-	-			1,483 SF
Reception			249 SF	407 SF	-	-	-	-			656 SF
Flex Space			1,079 SF	-	-	-	-	-			1,079 SF
Mail			345 SF	-	-	-	-	-			345 SF
IDF			-	-	60 SF	60 SF	60 SF	-			180 SF
Trash			379 SF	-	112 SF	112 SF	112 SF	-			715 SF
Restroom			252 SF	-	-	-	-	-			252 SF
Lobby			1,090 SF	-	-	-	-	-			1,090 SF
Parking			9,577 SF	-	-	-	-	-			9,577 SF
Gross Building (Measured from exterior face of ext wall, including, unit decks, shafts, stairs and elevators. Not including roof, roof deck or podium decks, not including area above first level at double height space, not including parking/garage, Assumes 7'-0" corridor typical)			23,754	10,257	32,786	32,863	33,032				132,692 SF
Net Saleable/Gross Building			0.548		0.824	0.822	0.818				
Landscape			-	-	-	-	-	-			Landsc. Totals
Private Courts			-	-	-	-	-	-			
Common Courtyard			-	-	-	-	-	-			
Roof-Deck			-	-	-	-	-	-			

500 HOPPER
PROJECT #: 2110
BUILDING 2 (LOT 5) UNIT AND AREA SUMMARY
Revised - 06/08/2022

UNIT TYPE	Unit Type	Total SQ FT	Floor Levels						Unit Total	%	Rentable Area
			1ST	M	2ND	3RD	4TH	Roof			
STUDIO	S20.0	400	-	-	6	6	-	-	12	10.7%	4,800 SF
	S21.0	382	-	-	1	1	-	-	2	1.8%	764 SF
	S22.0	426	-	-	7	7	-	-	14	12.5%	5,964 SF
	S23.0	369	-	-	1	1	-	-	2	1.8%	738 SF
	S24.0	396	-	-	3	3	-	-	6	5.4%	2,376 SF
	S26.0	434	-	-	1	1	-	-	2	1.8%	868 SF
	S27.0	463	-	-	1	1	-	-	2	1.8%	926 SF
TOTAL UNITS			0	0	20	20	0	0	40	35.7%	16,436 SF
Rentable Residential by floor (PP)			-	-	8,216 SF	8,216 SF	-	-			
1 BEDROOM	A20.0	520	-	-	6	6	-	-	12	10.7%	6,240 SF
	A21.0	473	-	-	1	1	-	-	2	1.8%	946 SF
	A22.0	597	-	-	3	3	-	-	6	5.4%	3,582 SF
	A23.0	544	-	-	1	1	-	-	2	1.8%	1,088 SF
TOTAL UNITS			0	0	12	12	0	0	24	21.4%	13,128 SF
Rentable Residential by floor (PP)			-	-	6,564 SF	6,564 SF	-	-			
2 BEDROOM	B20.0	726	-	-	-	-	-	-	2	1.8%	1,452 SF
	B21.0	737	-	-	1	1	-	-	2	1.8%	1,474 SF
	B22.0	905	-	-	1	1	-	-	2	1.8%	1,810 SF
TOTAL UNITS			0	0	3	3	0	0	6	5.4%	4,736 SF
Rentable Residential by floor (PP)			-	-	2,368 SF	2,368 SF	-	-			
MEMORY CARE	MC1.0	369	-	-	-	-	18	-	18	16.1%	6,642 SF
	MC2.0	406	-	-	-	-	5	-	5	4.5%	2,030 SF
	MC3.0	373	-	-	-	-	6	-	6	5.4%	2,238 SF
	MC4.0	345	-	-	-	-	2	-	2	1.8%	890 SF
	MC5.0	434	-	-	-	-	1	-	1	0.9%	434 SF
	MC6.0	490	-	-	-	-	1	-	1	0.9%	490 SF
	MC7.0	595	-	-	-	-	1	-	1	0.9%	595 SF
	MC8.0	474	-	-	-	-	1	-	1	0.9%	474 SF
	MC9.0	457	-	-	-	-	1	-	1	0.9%	457 SF
TOTAL UNITS			0	0	0	0	36	0	36	32.1%	14,050 SF
Rentable Residential by floor (PP)			-	-	-	-	14,050 SF	-			
WORK LIVE	WL6.0	806	-	1	-	-	-	-	1	0.9%	1,672 SF
	WL7.0	866	-	1	-	-	-	-	1	0.9%	1,349 SF
	WL8.0	900	-	1	-	-	-	-	1	0.9%	1,696 SF
	WL9.0	960	-	1	-	-	-	-	1	16.7%	1,427 SF
	WL10.0	963	-	2	-	-	-	-	2	1.8%	3,046 SF
		560	-	-	-	-	-	-	-	-	-
TOTAL UNITS			5	0	0	0	0	0	6	5.4%	9,190 SF
Rentable Residential by floor (PP)			9,190 SF	-	-	-	-	-			
TOTAL UNITS			6	35	35	36	0	0	112	100%	57,540 SF
Avg. Unit Size											
Rentable Residential by floor (PP)			4,431 SF	4,759 SF	17,150 SF	17,150 SF	14,050 SF	-			57,540 SF
Bike Room			353 SF	-	-	-	-	-			353 SF
BOH			934 SF	-	-	-	-	-			934 SF
Vertical Circulation			573 SF	231 SF	680 SF	680 SF	680 SF	369 SF			3,213 SF
Public Easement			1,051 SF	-	-	-	-	-			1,051 SF
Service Corridor/Corridor			507 SF	-	1,627 SF	1,627 SF	1,731 SF	1,427 SF			6,919 SF
Lobby			982 SF	-	-	-	-	-			982 SF
Reception/Mail			197 SF	-	-	-	-	-			197 SF
Lounge			-	-	-	-	532 SF	453 SF			985 SF
Activities			-	-	-	-	781 SF	-			781 SF
Community Lounge			1,776 SF	-	-	-	-	-			1,776 SF
Kitchen			877 SF	-	-	-	372 SF	-			1,249 SF
Staff/Admin			389 SF	473 SF	-	-	-	-			862 SF
Amenity			-	-	-	-	-	1,865 SF			1,865 SF
Restroom			255 SF	-	-	-	-	-			255 SF
Bistro/Bar			762 SF	-	-	-	-	-			762 SF
Mezzanine			-	2,542 SF	-	-	-	-			2,542 SF
Dining			-	-	-	-	1,466 SF	-			1,466 SF
Restaurant			1,995 SF	-	-	-	-	-			1,995 SF
IDF/Utility			-	-	128 SF	128 SF	-	64 SF			320 SF
Trash			181 SF	-	-	-	-	-			181 SF
Laundry			262 SF	-	-	-	-	-			262 SF
Commercial			806 SF	393 SF	-	-	-	-			1,199 SF
Parking			2,980 SF	-	-	-	-	-			2,980 SF
Gross Building (Measured from exterior face of ext wall, Including, unit decks, shafts, stairs and elevators. Not including roof, roof deck or podium decks, not including area above first level at double height space, not including parking/garage, Assumes 5'-0" corridor typical)			15,758	8,167	18,905	18,905	18,932	3,809			80,667 SF
Net Saleable/Gross Building			0.281	0.583	0.907	0.907	0.742				
Landscape			-	-	-	-	-	-			Landsc. Totals
Private Courts			-	-	-	-	-	-			
Common Courtyard			-	-	-	-	-	-			
Roof-Deck			-	-	-	-	-	1,865 SF			1,865 SF



AERIAL VIEW KEY 9
12" = 1'-0"



EXISTING SITE CONDITION 8
12" = 1'-0"



EXISTING SITE CONDITION 4
12" = 1'-0"



EXISTING SITE CONDITION 7
12" = 1'-0"



EXISTING SITE CONDITION 3
12" = 1'-0"



EXISTING SITE CONDITION 6
12" = 1'-0"



EXISTING SITE CONDITION 2



EXISTING SITE CONDITION 5
12" = 1'-0"



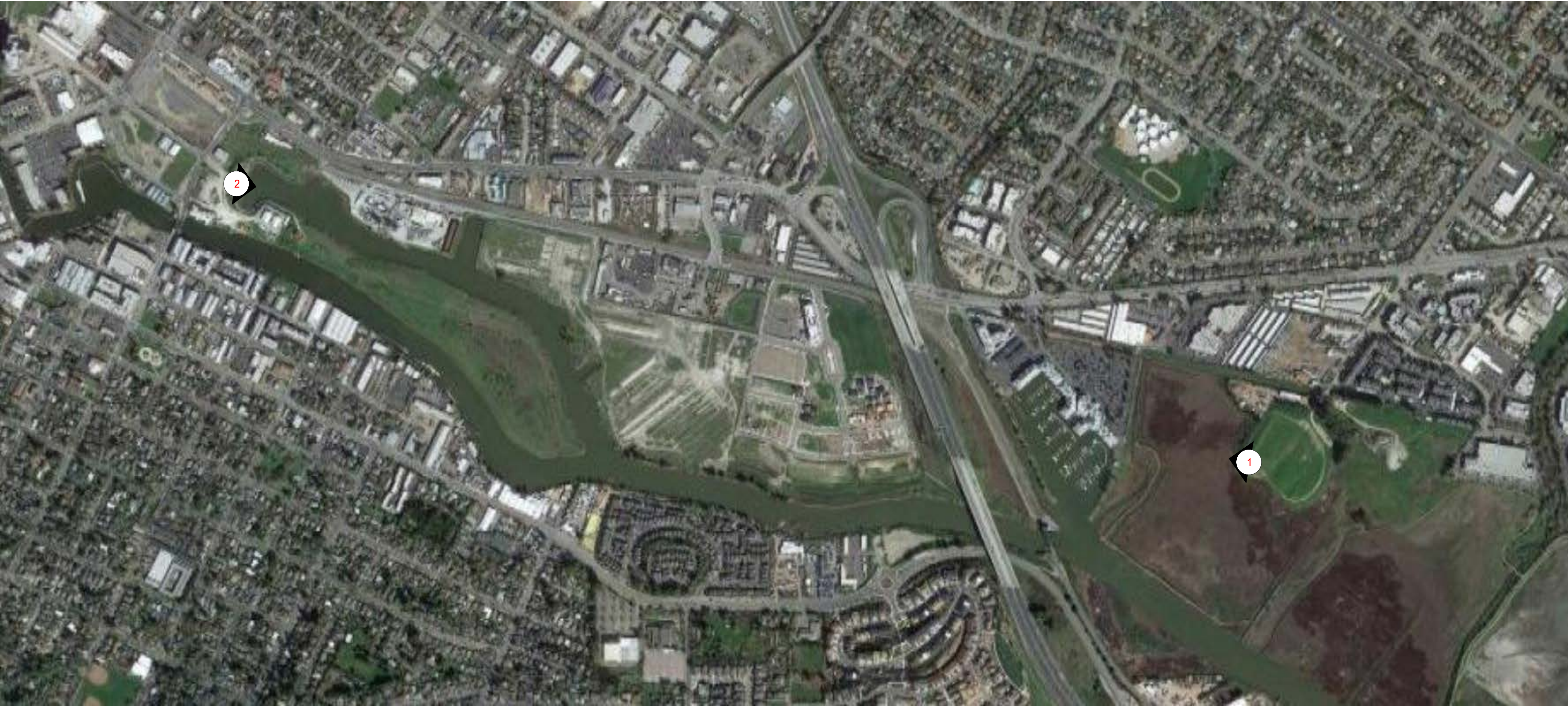
EXISTING SITE CONDITION 1

REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	L1

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREON CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

EXISTING
CONDITIONS

SHEET TITLE:
SCALE: 12" = 1'-0"
PROJ.#: 2110 DRAWN: Author
SHEET SIZE: 30 x 42



VIEW SHED KEY



VIEW SHED - MCNEAR PARK 2
1 1/2" = 1'-0"



VIEW SHED - ROCKY MOUNTAIN DOG PARK 1
1 1/2" = 1'-0"

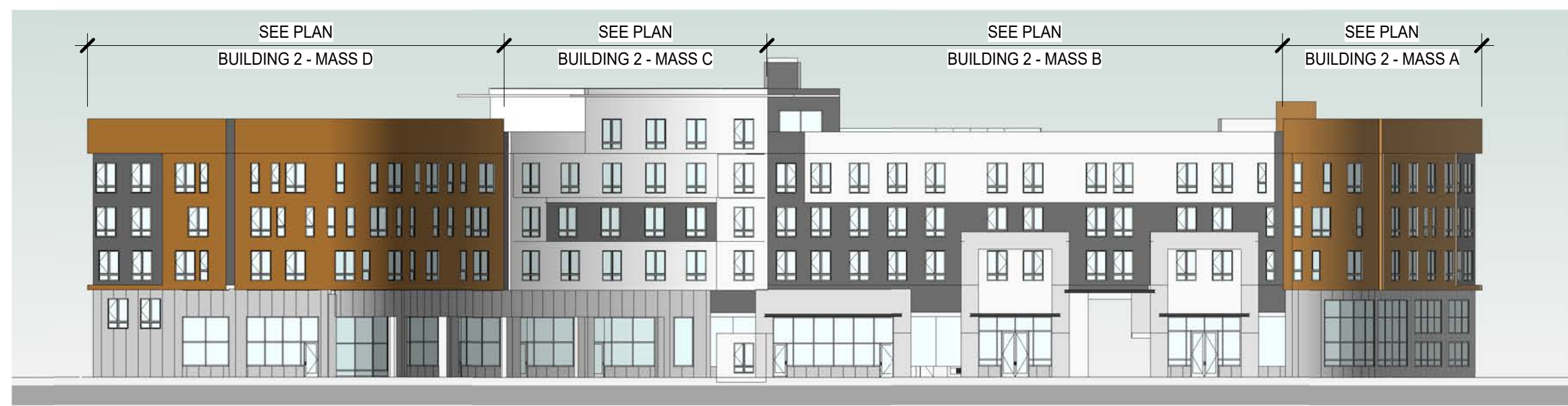
REV	ISSUE	DATE
1	PLANNING RESUBMITTA L1	6.6.22

STAMP

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

VIEW SHED

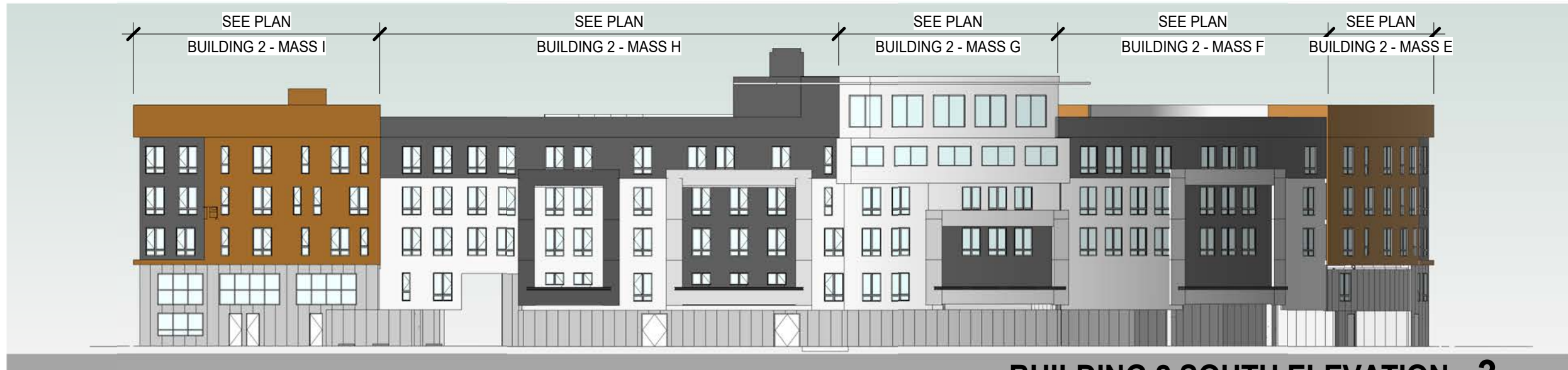
SHEET TITLE:
SCALE: As indicated
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42



BUILDING 2 NORTH ELEVATION 5
1" = 30'-0"



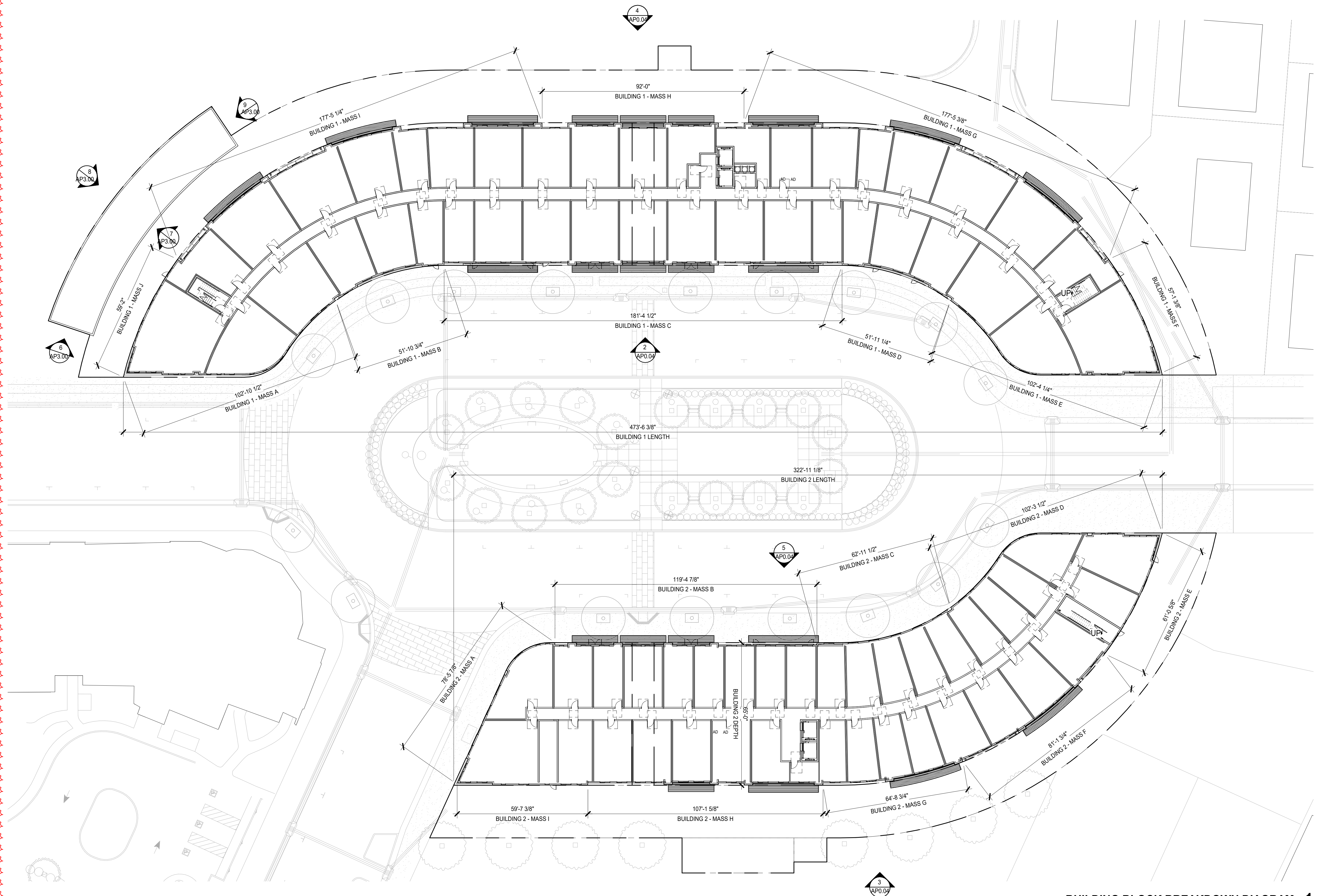
BUILDING 1 NORTH ELEVATION 4
1" = 30'-0"



BUILDING 2 SOUTH ELEVATION 3
1" = 30'-0"



BUILDING 1 SOUTH ELEVATION 2
1" = 30'-0"



BUILDING BLOCK BREAKDOWN DIAGRAM 1
3/64" = 1'-0"

REV	ISSUE	DATE
T	ENTITLEMENT	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L1	

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

**BUILDING
BLOCK
DIAGRAM**

SHEET TITLE:
SCALE: As indicated
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42

REV	ISSUE	DATE
1	PLANNING RESUBMITTA L1	6.6.22

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREON CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

NEIGHBORHOOD
VIEW DIAGRAM

SHEET TITLE:
SCALE: As indicated
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42



SITE SECTION - TRANSVERSE 5
1" = 30'-0"



SITE SECTION - LOGITUDINAL 4
1" = 30'-0"



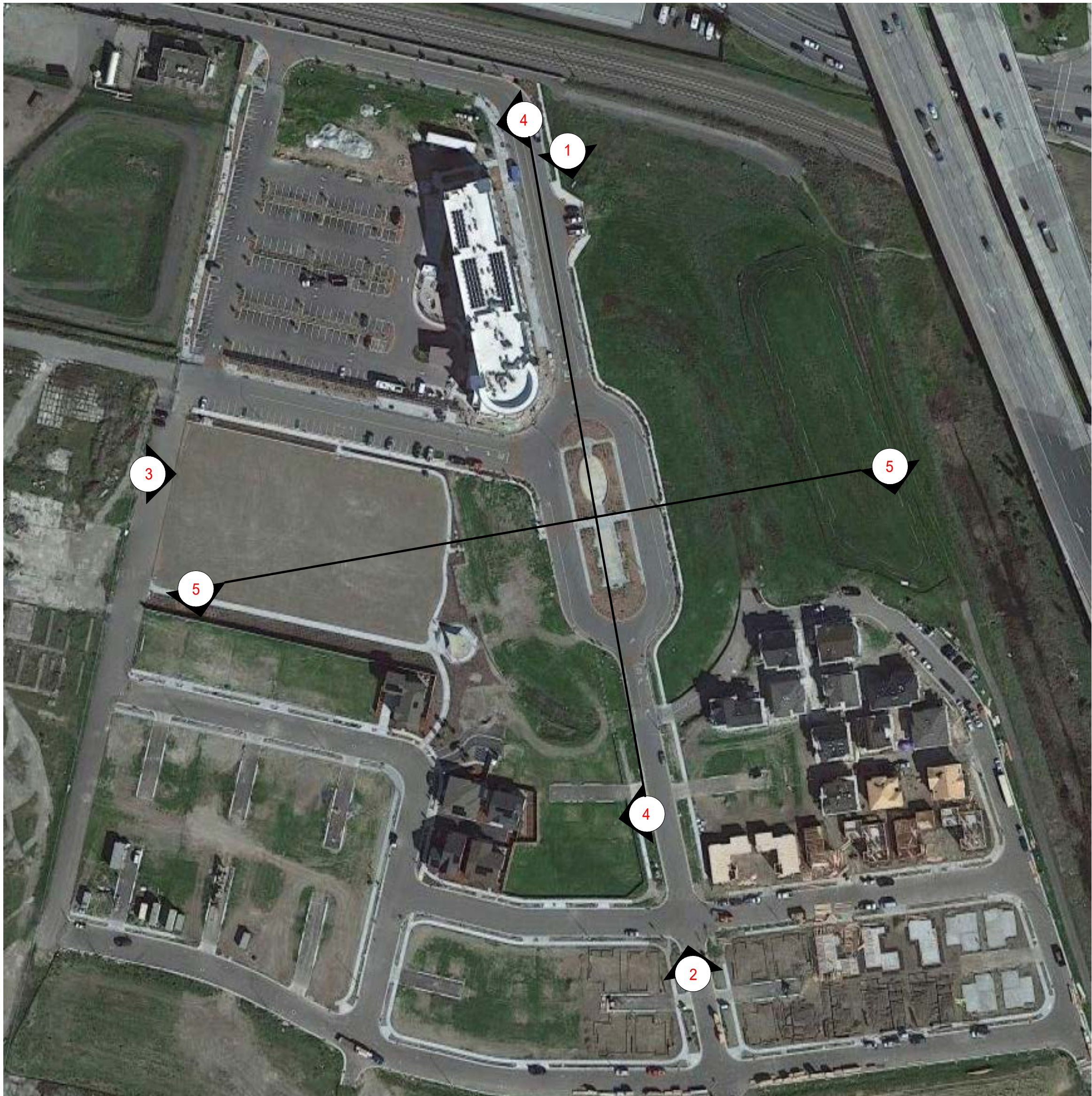
VIEW CORRIDOR-SOUTH 2
1 1/2" = 1'-0"



VIEW CORRIDOR-WEST 3
1 1/2" = 1'-0"



VIEW CORRIDOR-NORTH 1
1 1/2" = 1'-0"



VIEW CORRIDOR KEY



LAND USE ABBREVIATIONS

[MU]	MIXED USE
[DLDR]	DIVERSE LOW DENSITY RESIDENTIAL
[MDR]	MEDIUM DENSITY RESIDENTIAL
[RL]	LOW DENSITY RESIDENTIAL
[RH]	HIGH DENSITY RESIDENTIAL
[MH]	MOBILE HOMES
[CC]	COMMUNITY COMMERCIAL
[P/SP]	PUBLIC/SEMI-PUBLIC
[CP]	OPEN SPACE
[NC]	NEIGHBORHOOD COMMERCIAL
[RDI]	RIVER DEPENDENT INDUSTRIAL
[]	LAND USE DESIGNATION

ZONING ABBREVIATIONS

RDI	RIVER DEPENDENT INDUSTRIAL (D-3)
T-4	URBAN GENERAL
T-5	URBAN CENTER
T-6	URBAN CORE
PUD	PLANNED UNIT DISTRICT
PCD	PLANNED COMMUNITY DEVELOPMENT
MU1A	MIXED USE 1A
MU1B	MIXED USE 1B
MH	MOBILE HOME PARK
TD	THOROUGHFARE DISTRICT (D4)
CS	CIVIC SPACE
FW	FLOODWAY
OSP	OPEN SPACE-PARK
R5	RESIDENTIAL 5
C1	COMMERCIAL 1
C2	COMMERCIAL 2

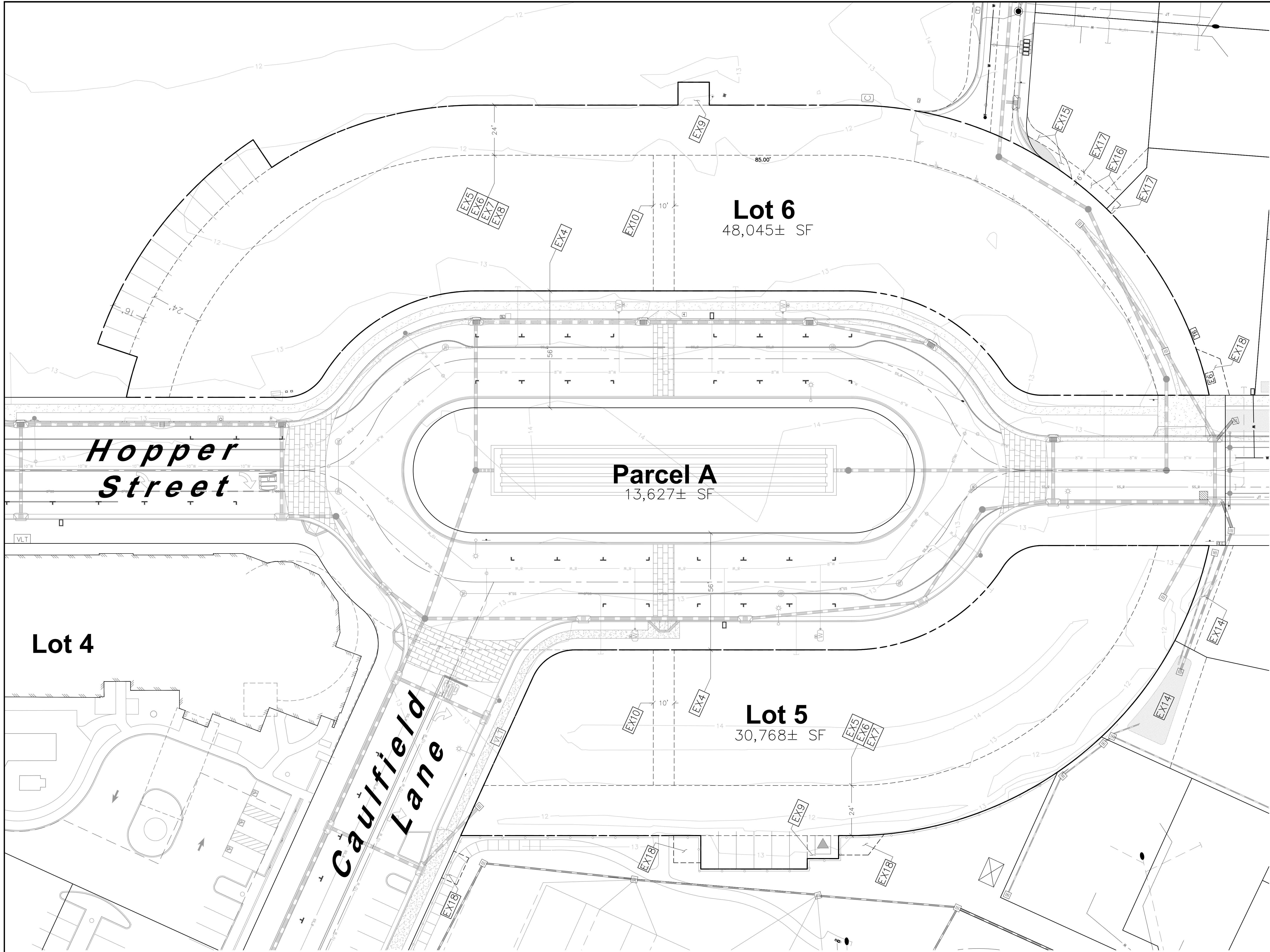
LEGEND

	EXISTING CITY LIMIT LINE
	CENTRAL SPECIFIC PLAN BOUNDARY (CPSP)
	PROJECT BOUNDARY
	CONCEPTUAL AREA BOUNDARY (CPSP)
	APPROXIMATE FLOODWAY AREA PER FEMA MAPS DATED OCTOBER 2, 2015.

	ZONING DISTRICT
	LAND USE CLASSIFICATION

NOTES:

- ZONING AND LAND USE INFORMATION SHOWN HEREON IS PER THE CITY OF PETALUMA OFFICIAL CITY WEBSITE ZONING AND LANDUSE ACTIVE MAPPING.
- ORTHOGRAPHIC IS PROVIDED BY GOOGLE EARTH DATED MARCH 2019.



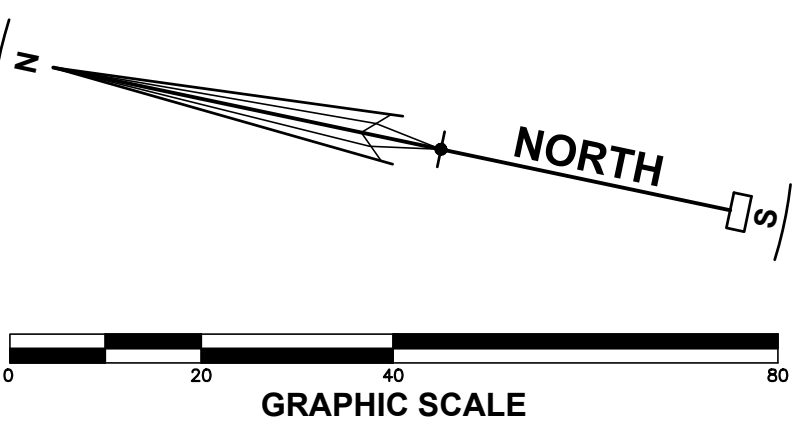
- EXISTING EASEMENT DESIGNATIONS**
- EX1 30' WIDE PUBLIC SANITARY SEWER EASEMENT, PER 779 MAPS 24-31, SCR.
EX2 30' EASEMENT FOR SEWER CONSTRUCTION AND MAINTENANCE, FBO CITY OF PETALUMA, PER 2744 OR 635, SCR
EX3 30' EASEMENT FOR SEWER CONSTRUCTION, FBO CITY OF PETALUMA, PER 2744 OR 635, SCR
EX4 EASEMENT FOR GOVERNMENT AND GENERAL PUBLIC VEHICULAR, PEDESTRIAN AND BICYCLE ACCESS, PER DN 2007-028057, SCR, LOCATION MODIFIED AND AMENDED PER DN 2016-016637, SCR
EX5 24' WIDE EMERGENCY VEHICLE ACCESS EASEMENT, PER 779 MAPS 24-31, SCR
EX6 24' WIDE PUBLIC STORM DRAIN EASEMENT, PER 779 MAPS 24-31, SCR
EX7 24' WIDE PUBLIC UTILITY EASEMENT, PER 779 MAPS 24-31, SCR
EX8 24' WIDE PRIVATE ACCESS EASEMENT FBO LOTS 7, 8 & 9, PER 779 MAPS 24-31, SCR
EX9 11' X 15' WIDE PUBLIC UTILITY EASEMENT, PER 779 MAPS 24-31, SCR
EX10 10 FOOT WIDE PUBLIC PEDESTRIAN ACCESS EASEMENT, PER 779 MAPS 24-31, SCR
EX11 10' WIDE PUBLIC STORM DRAIN EASEMENT, PER 779 MAPS 24-31, SCR
EX12 PRIVATE ROAD EASEMENT FBO LOTS 8 & 9, WIDTH VARIES, PER 779 MAPS 24-31, SCR
EX13 PUBLIC UTILITY EASEMENT, WIDTH VARIES, PER 779 MAPS 24-31, SCR
EX14 PRIVATE STORM DRAIN EASEMENT, WIDTH VARIES, PER 786 MAPS 32-38, SCR
EX15 PUBLIC ACCESS EASEMENT, PER 779 MAPS 24-31, SCR
EX16 6 FOOT WIDE PRIVATE STORM DRAIN EASEMENT, PER 779 MAPS 24-31, SCR
EX17 6 FOOT WIDE PUBLIC UTILITY EASEMENT, PER 779 MAPS 24-31, SCR
EX18 PACIFIC GAS & ELECTRIC UTILITY EASEMENT, PER DN 2018-015370, SCR

- NOTES**
- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON "IMPROVEMENT PLANS FOR RIVERFRONT, PHASE ONE A MIXED USE DEVELOPMENT", APPROVED BY THE CITY OF PETALUMA ON JULY 25, 2016.
 - VERTICAL DATUM: NGVD29. BENCHMARK: A FOUND BRASS DISK STAMPED "CAULFIELD" LOCATED IN HAND HOLE NEAR THE BACK OF WALK, WITHIN THE CONCRETE SIDEWALK ON THE EAST SIDE OF CAULFIELD LANE. EXTENSION AND LYING NORTHERLY OF THE SMART RAIL RIGHT OF WAY. ELEVATION FOR THIS PROJECT WAS DERIVED FROM NUMEROUS (NGVD29 DATUM) MONUMENTS RESULTING IN AN ELEVATION AT "CAULFIELD"="9.01" NGVD29 DATUM. NO REFERENCE TO ALTERNATE DATUMS.
 - HORIZONTAL DATUM: FINAL MAP OF RIVERFRONT SUBDIVISION, PHASE ONE, RECORDED IN BOOK 779 OF MAPS, AT PAGES 24-31, SONOMA COUNTY RECORDS.
 - UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE AND REFERENCE TO "IMPROVEMENT PLANS FOR RIVERFRONT, PHASE ONE A MIXED USE DEVELOPMENT", APPROVED BY THE CITY OF PETALUMA ON JULY 25, 2016. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES MAY NOT BE LOCATED AS SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARK THE UTILITIES PRIOR TO ANY CONSTRUCTION. ONLY BY POTHOUGH FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
 - TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY, ORDER NUMBER 0812021459, DATED DECEMBER 15, 2021.
 - THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. STEVEN J. LAFRANCHI AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.

- LEGEND**
- EXISTING BOUNDARY LINE
CENTERLINE
BUILDING
EASEMENT
EDGE OF PAVEMENT
FENCE, CHAIN LINK
WOOD FENCE
JOINT TRENCH UTILITY
SANITARY SEWER SERVICE
8" SANITARY SEWER
WATER SERVICE
8" WATER
10" WATER
STORM DRAIN AND DROP INLET
EXISTING CURB AND GUTTER
CONCRETE
ELECTRIC METER
WATER METER
WATER VALVE
FIRE HYDRANT
STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE
CONTOUR
SPOT ELEVATION

ABBREVIATIONS

- APN ASSESSORS PARCEL NUMBER
DN DOCUMENT NUMBER
SCR SONOMA COUNTY RECORDS
SSMH SANITARY SEWER MANHOLE
INV INVERT
RCP REINFORCED CONCRETE PIPE
HDPE HIGH-DENSITY POLYETHYLENE PIPE
PP POWER POLE
JP JOINT POLE
SS SANITARY SEWER
WMF WIRE MESH FENCE
WBF WOOD BOARD FENCE

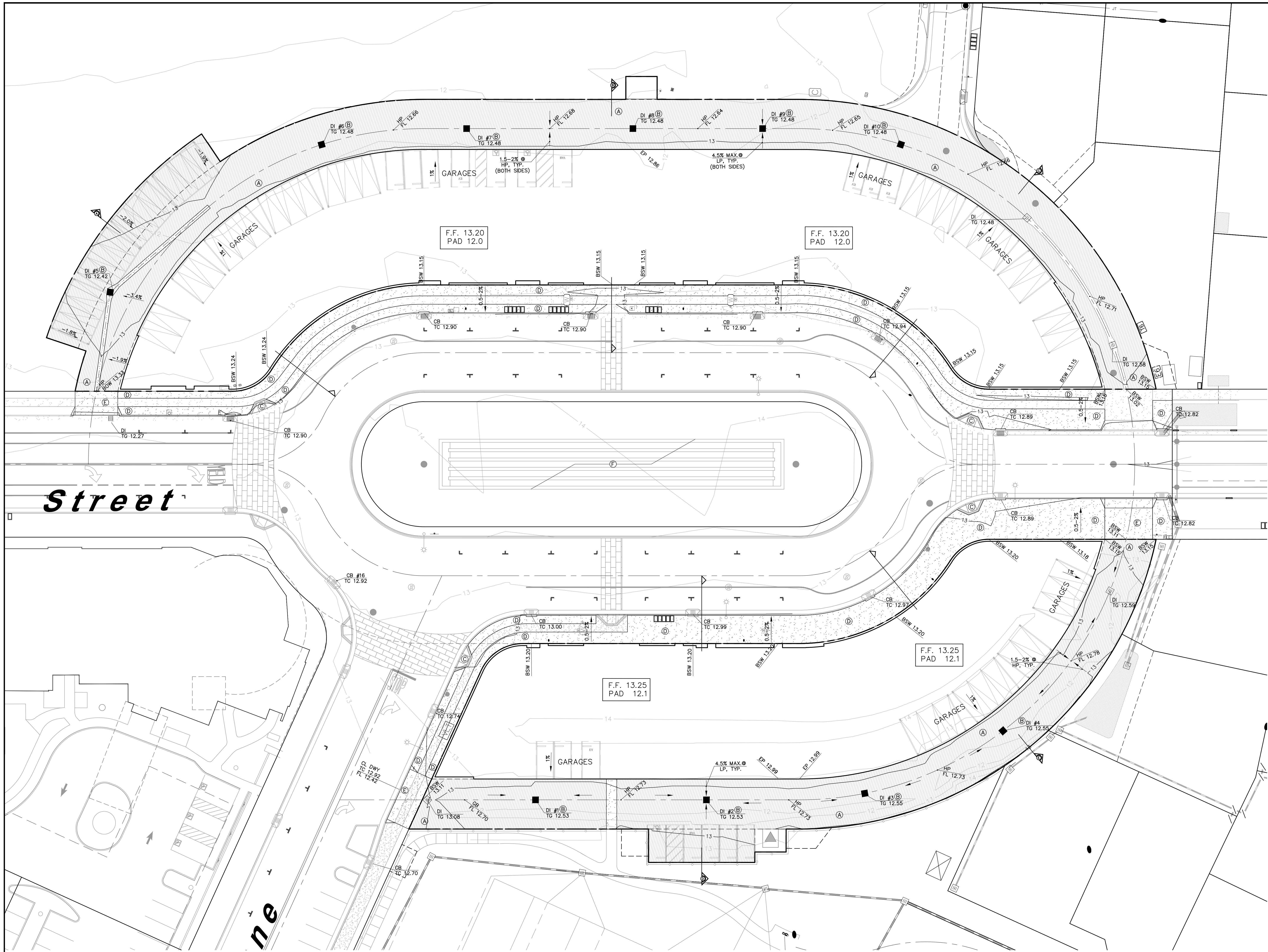


REVISIONS	BY

EXISTING CONDITIONS
SPIRIT LIVING
500 HOPPER STREET APN 136-690-005/006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2022.01.04
SCALE: 1" = 20'
DESIGN: S.J., CRK
DRAWN: CRK
CHECK: S.J.
JOB: SPIRIT LIVING
JOB No: 202189
SHEET
C-2
OF 5 SHEETS



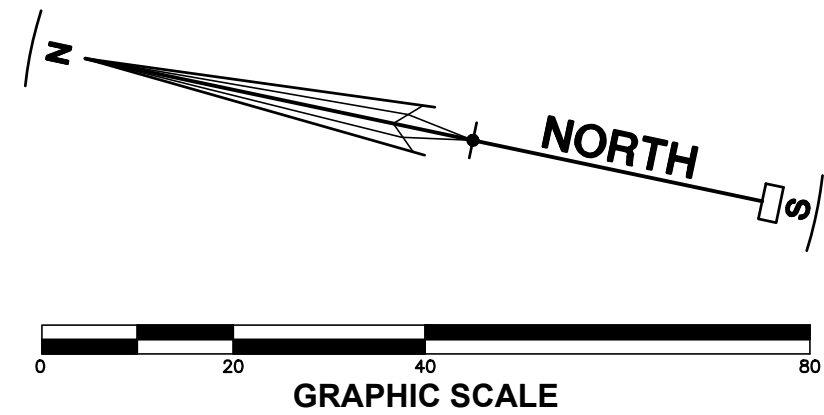
LEGEND		
PROPOSED	EXISTING	
		CENTERLINE
		APPROX. BOUNDARY LINE
		SANITARY SEWER
		WATER
		STORM DRAIN
		OVERHEAD UTILITY
		CONCRETE
		CURB & GUTTER
		CATCH BASIN
		DROP INLET
		STORM DRAIN MANHOLE
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		WATER METER
		FIRE HYDRANT
		GATE VALVE
		STREETLIGHT
		FIRE DEPARTMENT CONNECTION

- KEY NOTES**
- (A) MINIMUM PAVEMENT SECTION OF 4" ASPHALT CONCRETE OVER 12" OF CLASS 2 AGGREGATE BASE.
 - (B) 24" X 24" DROP INLET.
 - (C) PEDESTRIAN RAMP, STD. CURB RAMP CASE "A" PER CALTRANS 2018 REVISED STANDARD PLAN RSP-ARBA WITH TRUNCATED DOMES.
 - (D) CONCRETE SIDEWALK (WIDTH VARIES) PER COP STANDARD NO. 202 & 203.
 - (E) REINFORCED DRIVEWAY AND SIDEWALK SECTION.
 - (F) EXISTING STORM DRAIN PIPE RETENTION-DETENTION SYSTEM.

- NOTES**
- SEE SHEET C-1 FOR CONTEXT PLAN.
 - SEE SHEET C-2 FOR EXISTING CONDITIONS.
 - SEE SHEET C-4 FOR PRELIMINARY UTILITY PLAN.
 - SEE SHEET C-5 FOR SITE AND TYPICAL SECTIONS.
 - SEE SHEET C-6 FOR LADDER TRUCK STAGING EXHIBIT.
 - SEE "IMPROVEMENT PLANS FOR RIVERFRONT, PHASE 1 A MIXED USE DEVELOPMENT" BY STEVEN J. LAFRANCHI AND ASSOCIATES FOR OFF-SITE DEVELOPMENT INFORMATION.

*PRELIMINARY EARTHWORK QUANTITIES	
** CUT=	3994 CY
TRENCH SPOILS =	~331 CY
TOTAL CUT=	4325 CY
** FILL=	1180 CY
NET CUT =	3145 CY
** CUT & FILL VOLUMES BASED ON BUILDING PADS AND ROADWAY SUBGRADE	

*EARTHWORK QUANTITIES ARE BASED ON IN SITE VOLUME AND SECTION OF FINISHED DESIGN PRIOR TO APPLICATION OF SHRINK/SWELL FACTORS

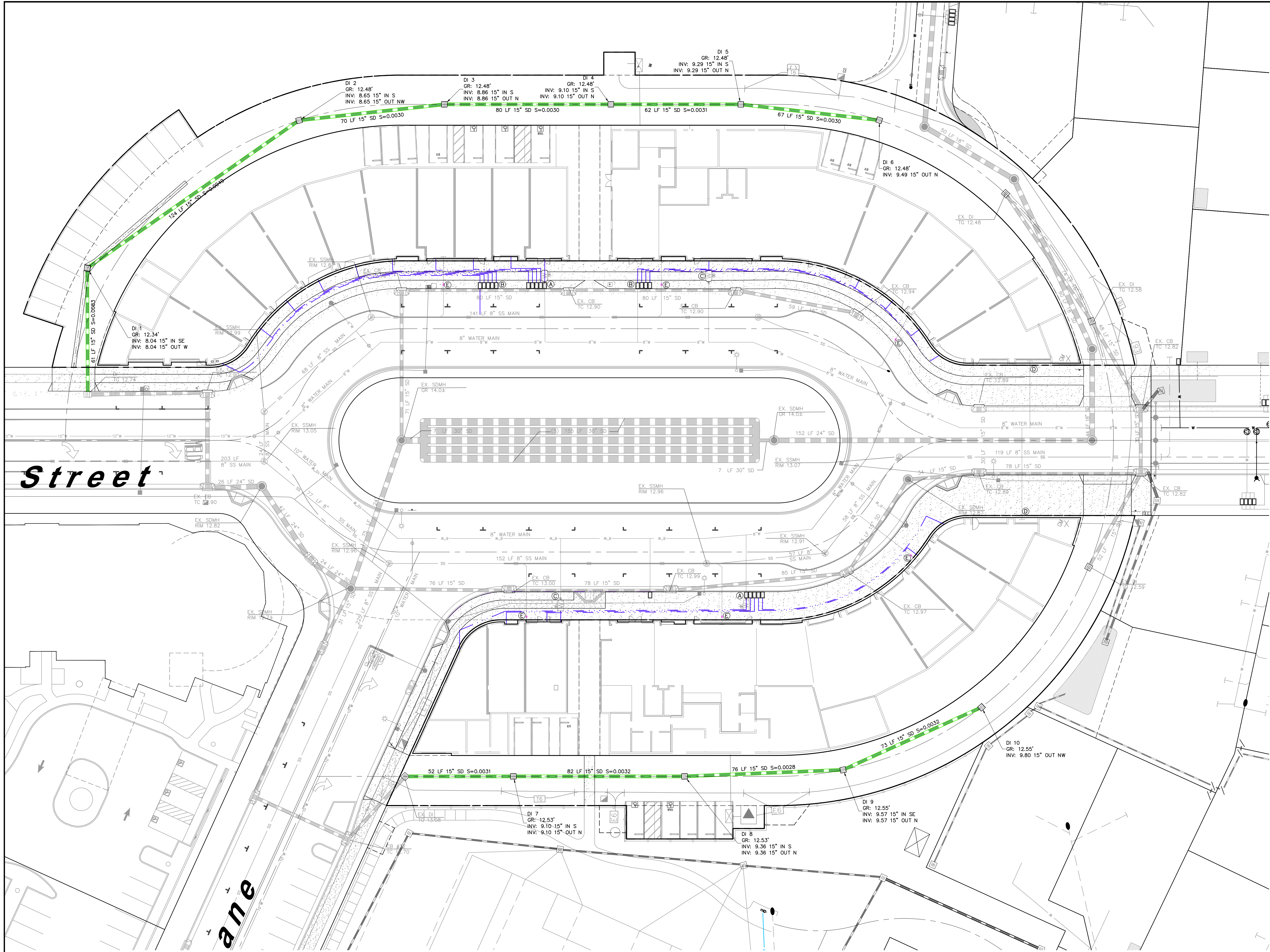


REVISIONS	BY

PRELIMINARY GRADING AND DRAINAGE PLAN
SPIRIT LIVING
500 HOPPER STREET APN 136-690-005/006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

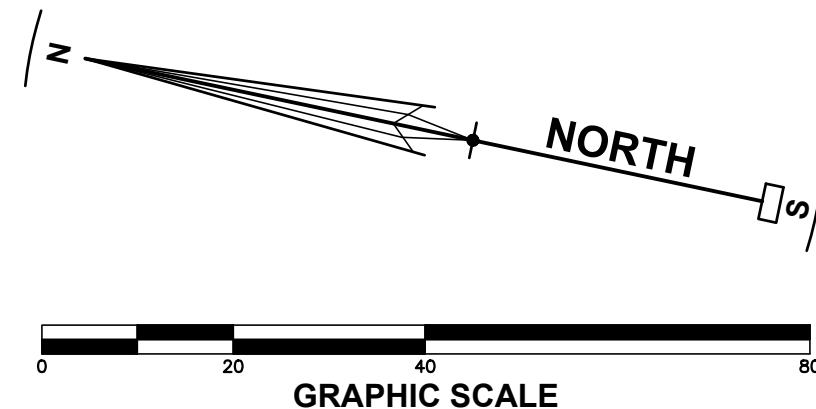
DATE: 2022.01.04
SCALE: 1" = 20'
DESIGN: S.J.L., CRK
DRAWN: CRK
CHECK: S.J.L.
JOB: SPIRIT LIVING
JOB No.: 202189
SHEET
C-3
OF 5 SHEETS



LEGEND		
PROPOSED	EXISTING	
		CENTERLINE
		APPROX. BOUNDARY LINE

- KEYNOTES**
- Ⓐ REPLACE EXISTING 3" METER WITH MANIFOLD METERS FOR CONDOMINIUMS.
 - Ⓑ INSTALL METER MANIFOLD FOR CONDOMINIUMS.
 - Ⓒ EXISTING 3" METER FOR DOMESTIC WATER.
 - Ⓓ EX. 6" WATER LATERAL FOR BUILDING SPRINKLERS. INTERIOR DOUBLE CHECK DETECTOR BACKFLOW PREVENTER AND FIRE RISER LOCATIONS TO BE DETERMINED.
 - Ⓔ EXISTING 6" SANITARY SEWER LATERAL. INSTALL CLEANOUT FOR CONNECTION TO BUILDING.

- NOTES**
- 1. SEE SHEET C-1 FOR CONTEXT PLAN.
 - 2. SEE SHEET C-2 FOR EXISTING CONDITIONS.
 - 3. SEE SHEET C-3 FOR PRELIMINARY GRADING AND DRAINAGE PLAN.
 - 4. SEE SHEET C-5 FOR TYPICAL SECTIONS.
 - 5. SEE SHEET C-6 FOR LADDER TRUCK STAGING EXHIBIT.
 - 6. SEE "IMPROVEMENT PLANS FOR RIVERFRONT, PHASE 1 A MIXED USE DEVELOPMENT" BY STEVEN J. LAFRANCHI AND ASSOCIATES FOR OFF-SITE DEVELOPMENT INFORMATION.

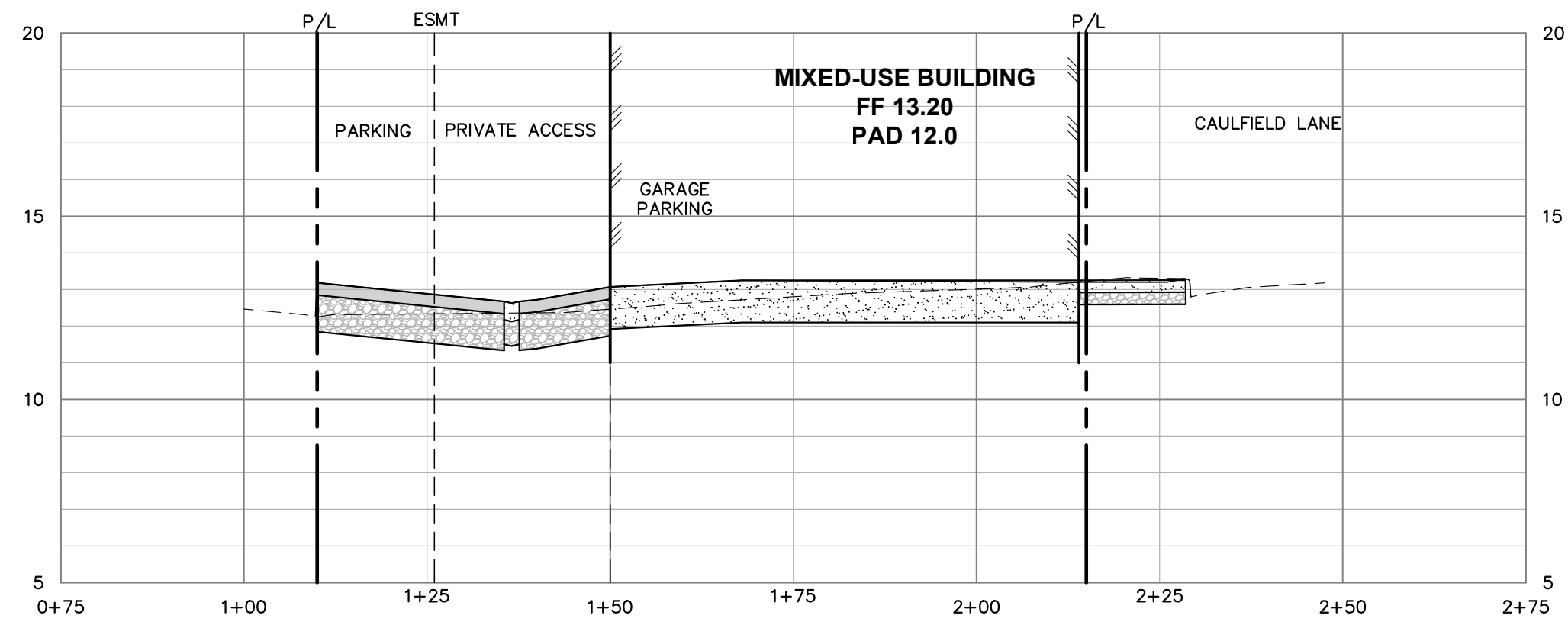


REVISIONS	BY

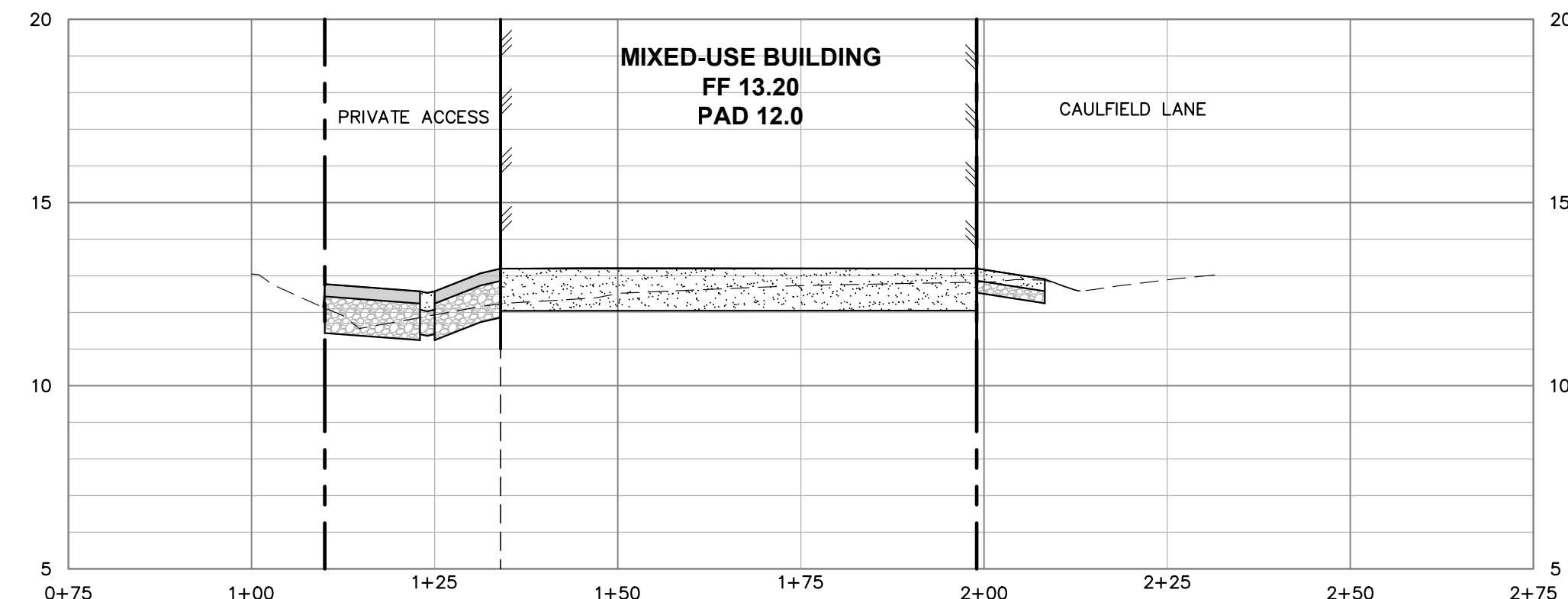
PRELIMINARY UTILITY PLAN
SPIRIT LIVING
500 HOPPER STREET APN 136-690-005/006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

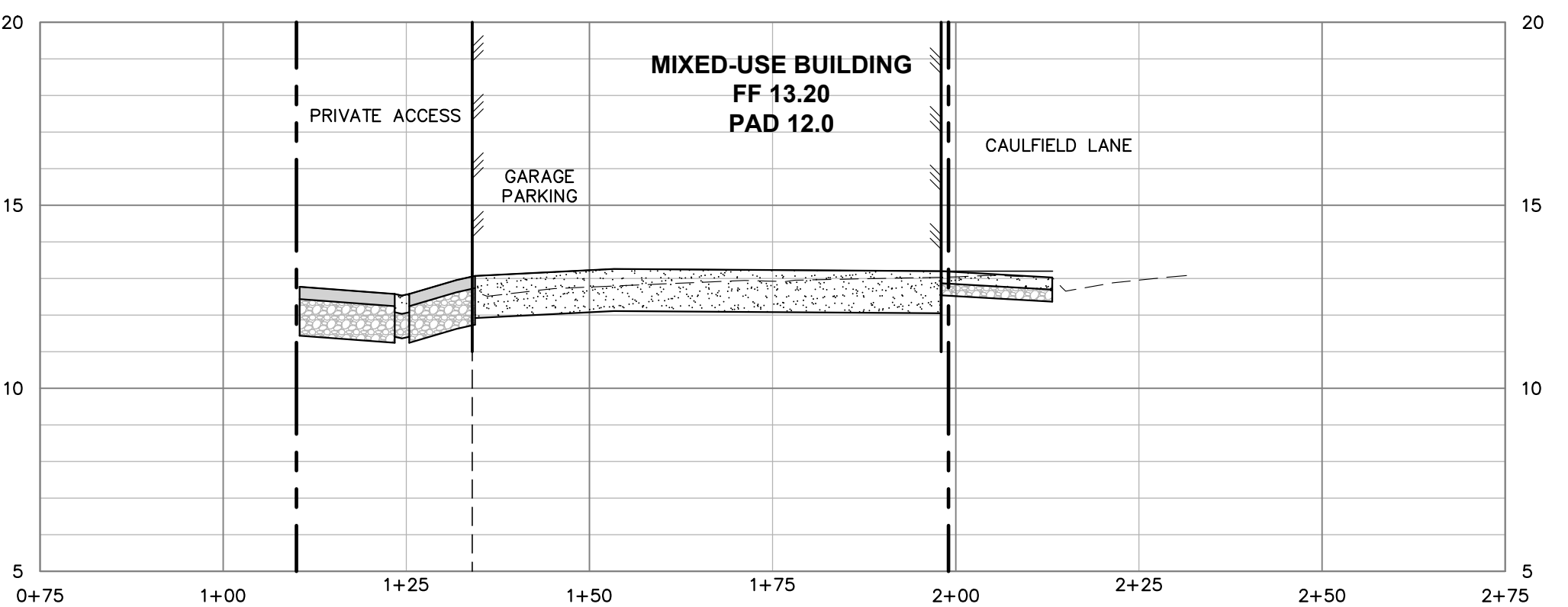
DATE: 2022.01.04
SCALE: 1" = 20'
DESIGN: S.J., CRK
DRAWN: CRK
CHECK: S.J.
JOB: SPIRIT LIVING
JOB No: 202189
SHEET
C-4
OF 5 SHEETS



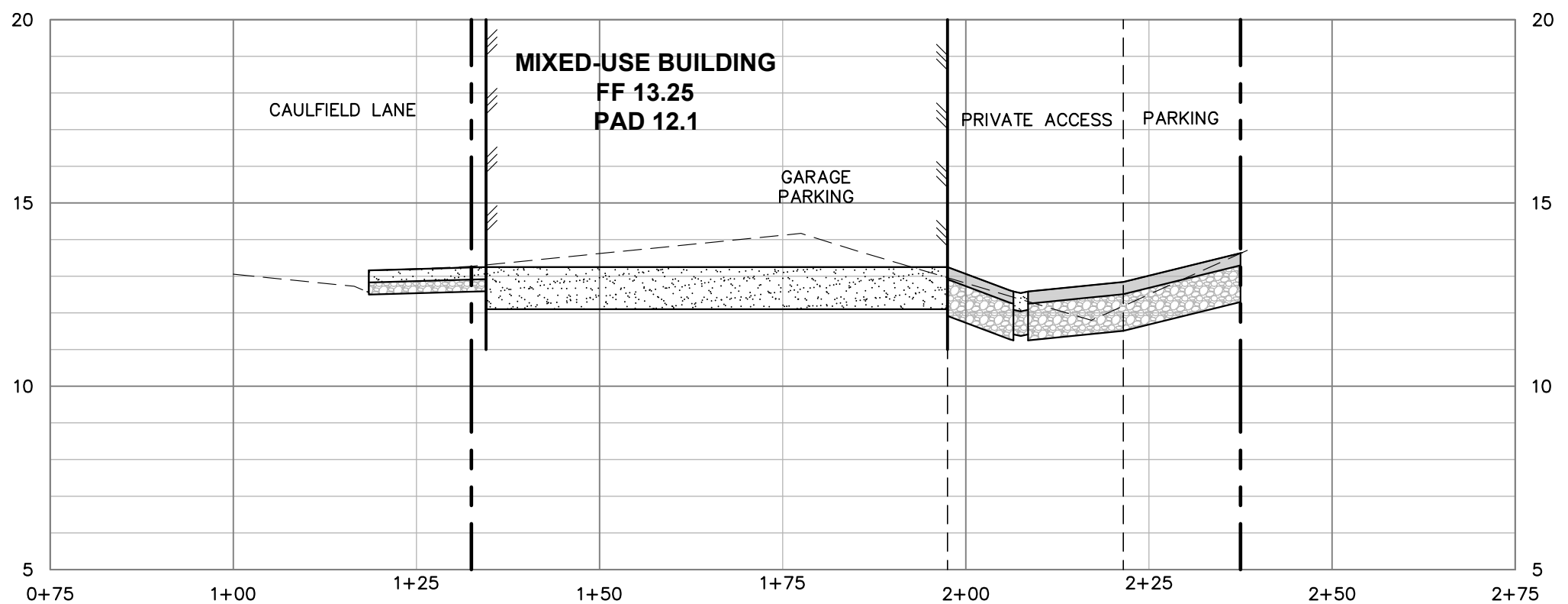
SECTION A
SCALE: 1"=20' H, 1"=4' V



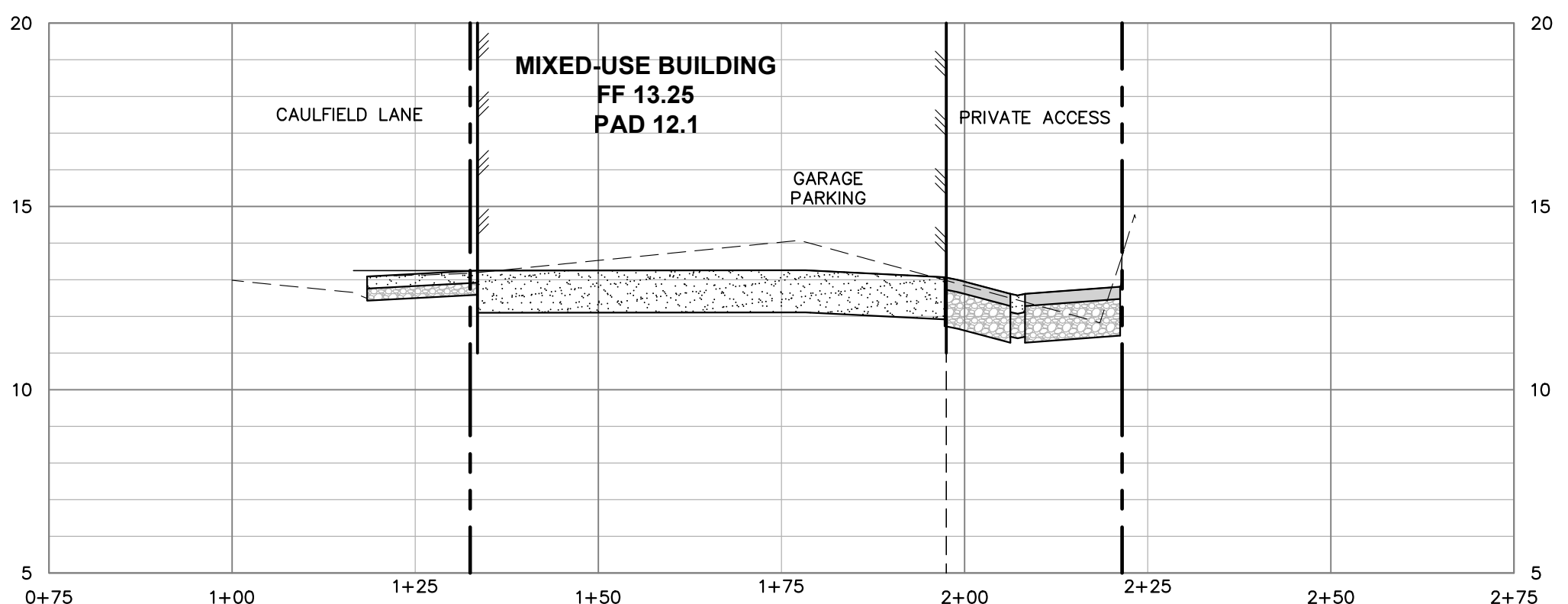
SECTION B
SCALE: 1"=20' H, 1"=4' V



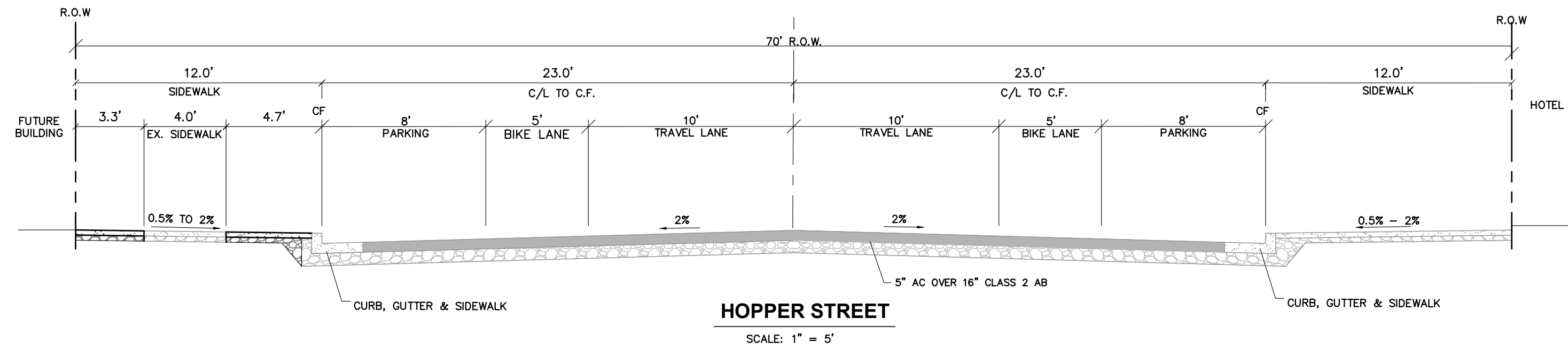
SECTION C
SCALE: 1"=20' H, 1"=4' V



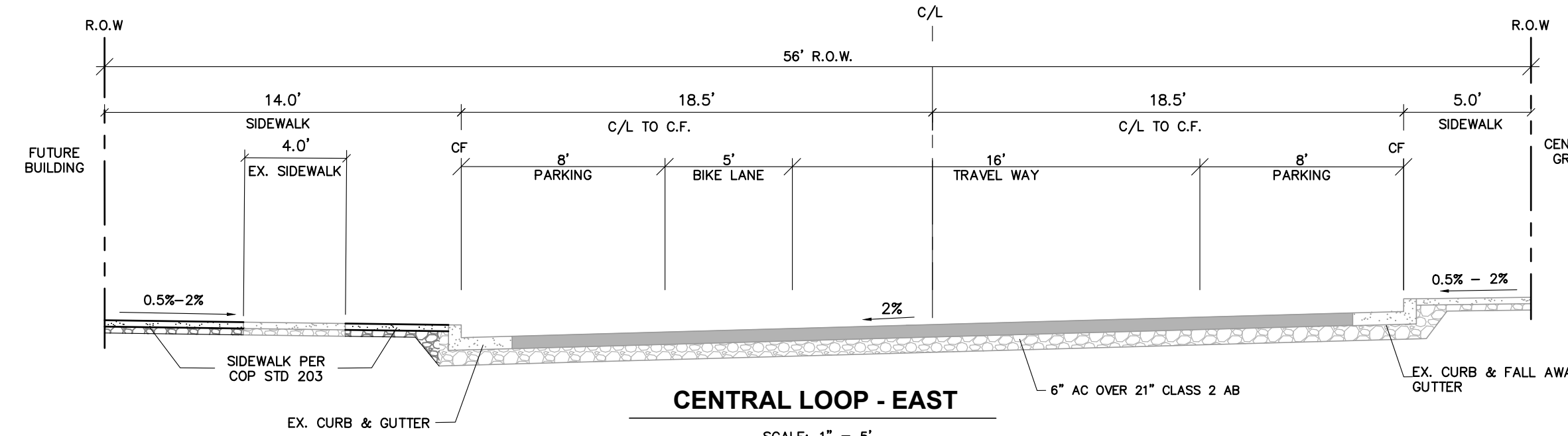
SECTION D
SCALE: 1"=20' H, 1"=4' V



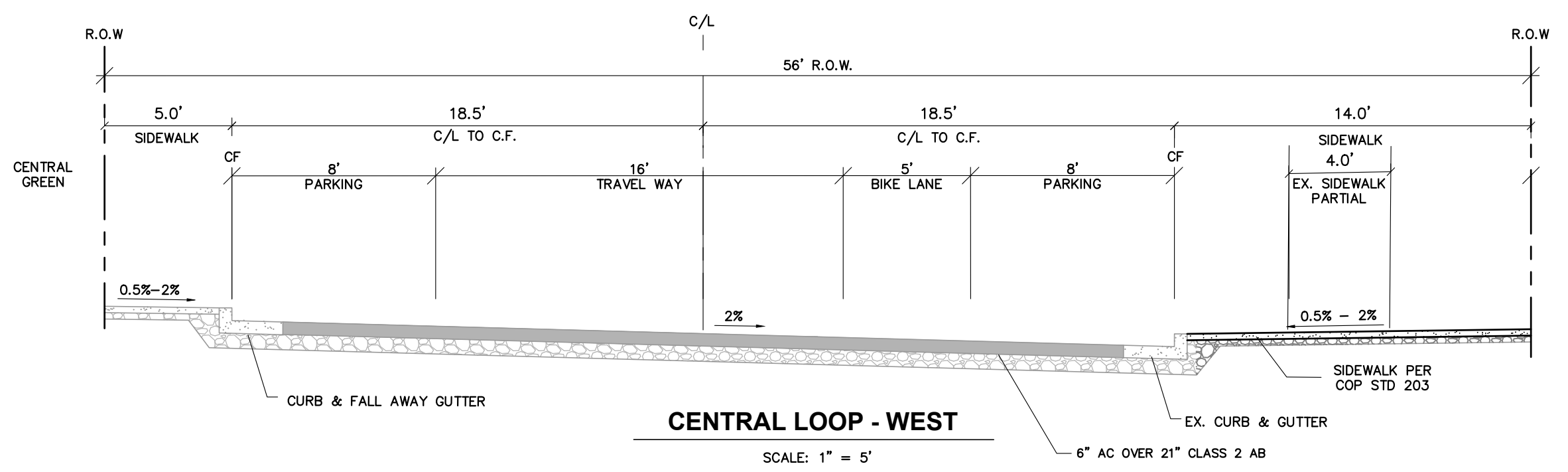
SECTION E
SCALE: 1"=20' H, 1"=4' V



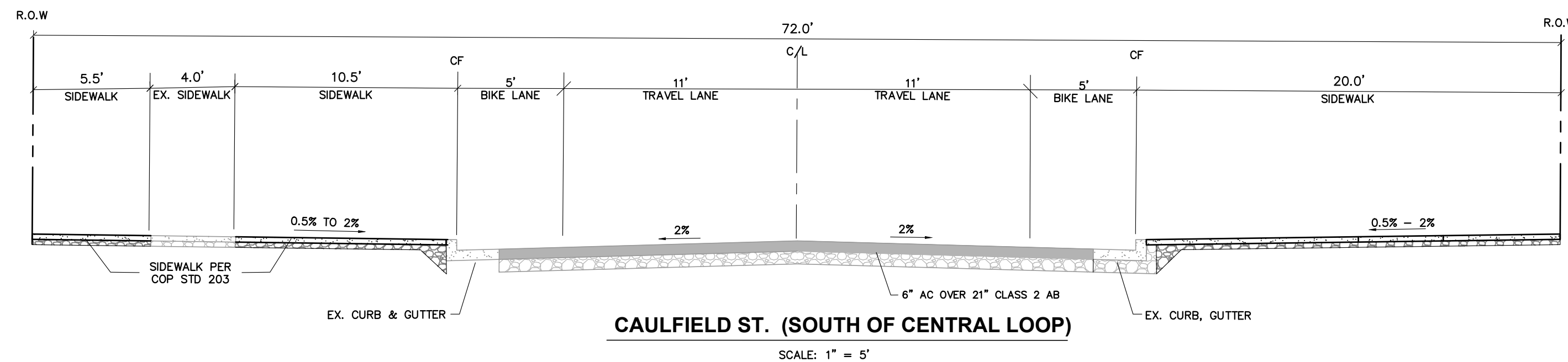
HOPPER STREET
SCALE: 1" = 5'



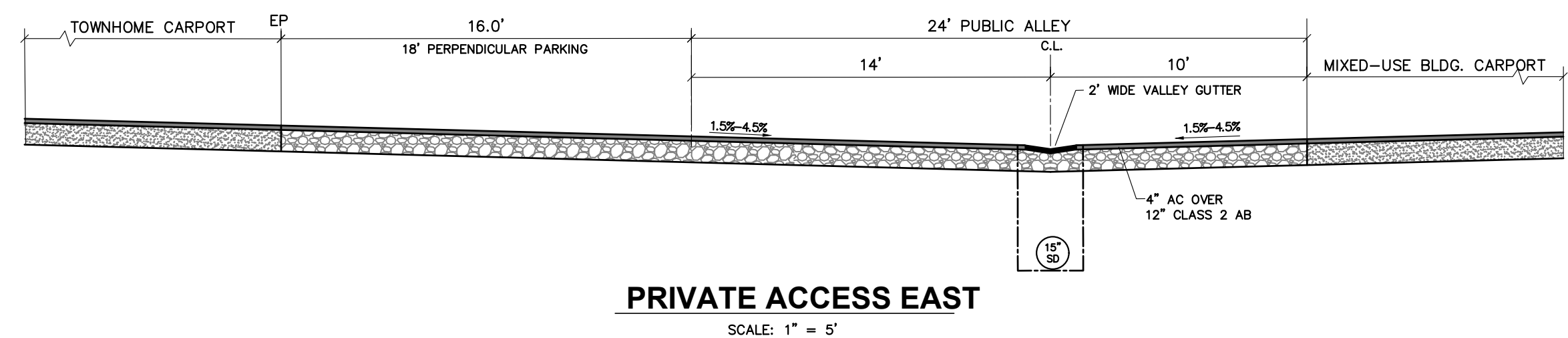
CENTRAL LOOP - EAST
SCALE: 1" = 5'



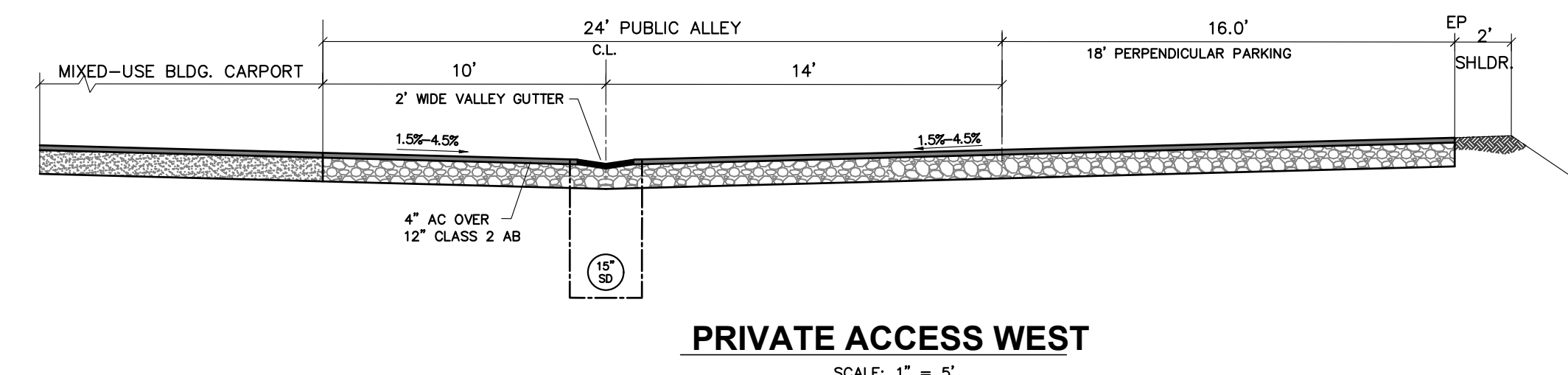
CENTRAL LOOP - WEST
SCALE: 1" = 5'



CAULFIELD ST. (SOUTH OF CENTRAL LOOP)
SCALE: 1" = 5'



PRIVATE ACCESS EAST
SCALE: 1" = 5'



PRIVATE ACCESS WEST
SCALE: 1" = 5'

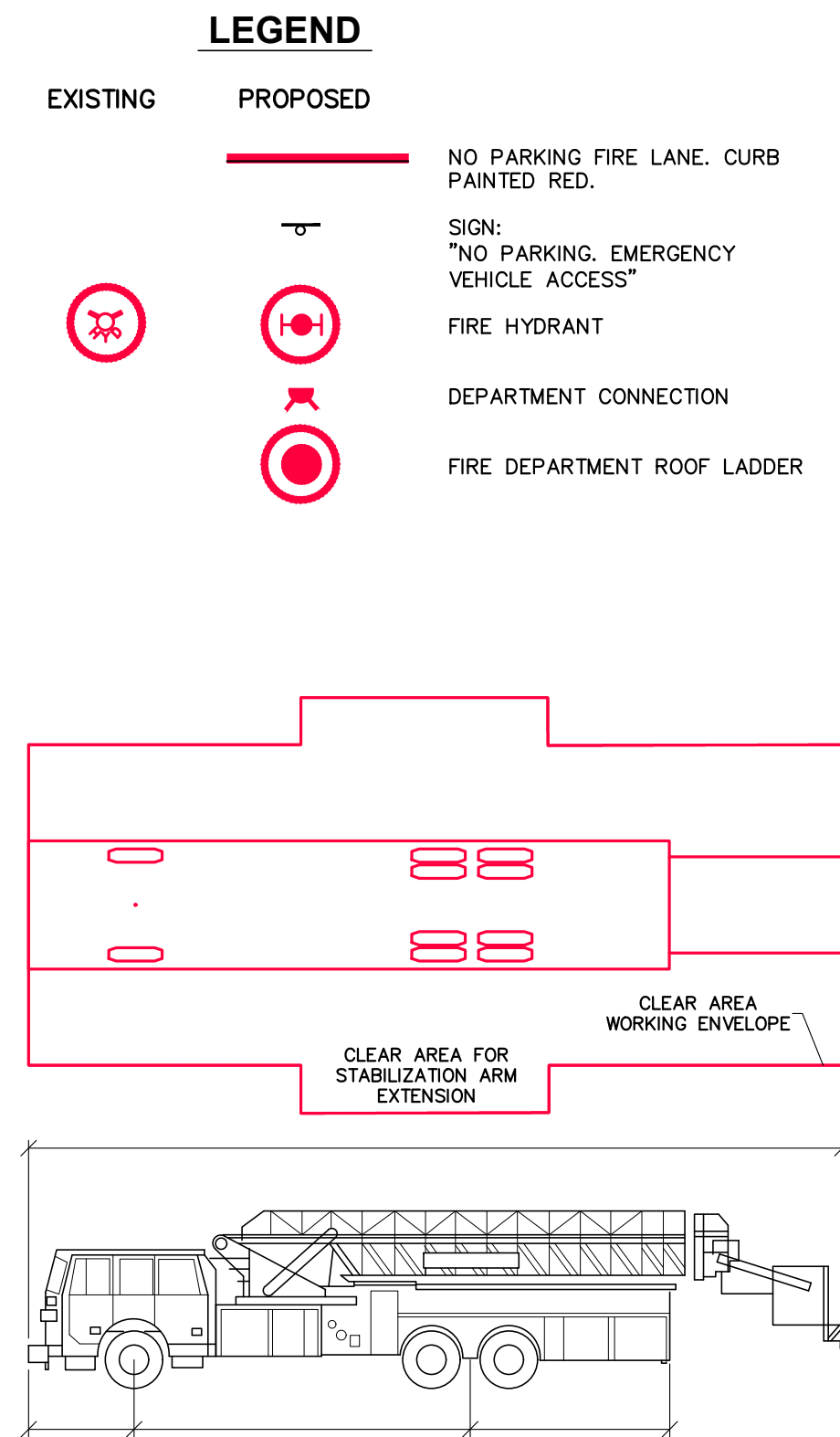
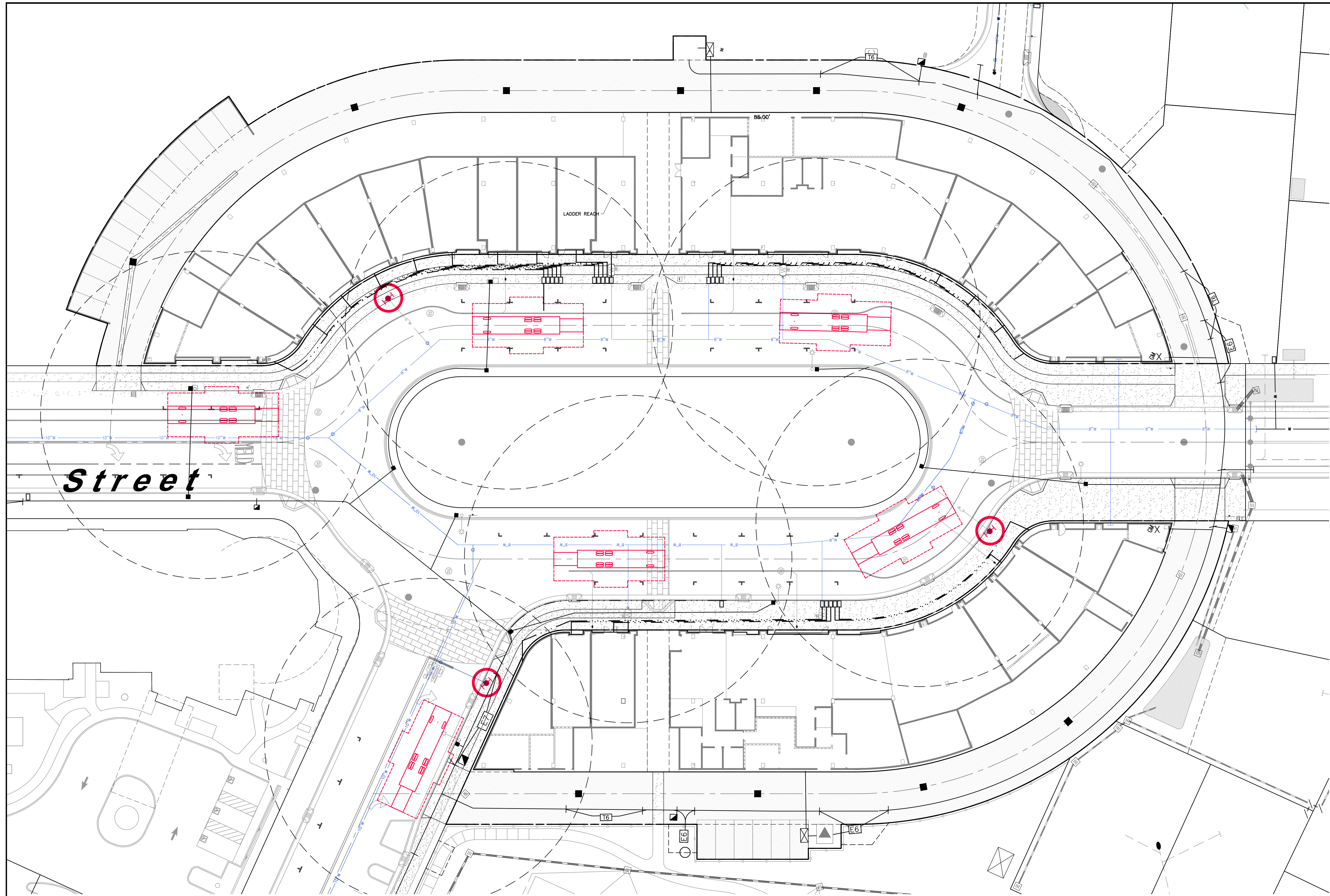
REVISIONS	BY

SITE AND TYPICAL SECTIONS
SPIRIT LIVING
500 HOPPER STREET APN 136-690-005/006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2022.01.04
SCALE: AS SHOWN
DESIGN: S.J.L., CRK
DRAWN: CRK
CHECK: S.J.L.
JOB: SPIRIT LIVING
JOB No.: 202189
SHEET
C-5
OF 5 SHEETS

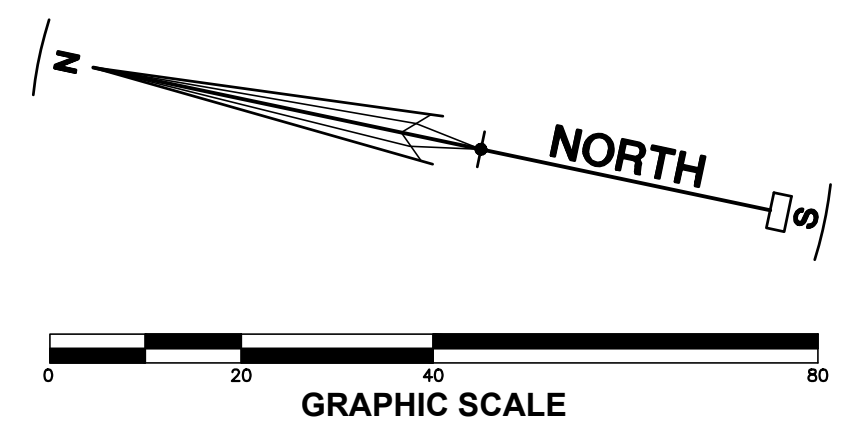




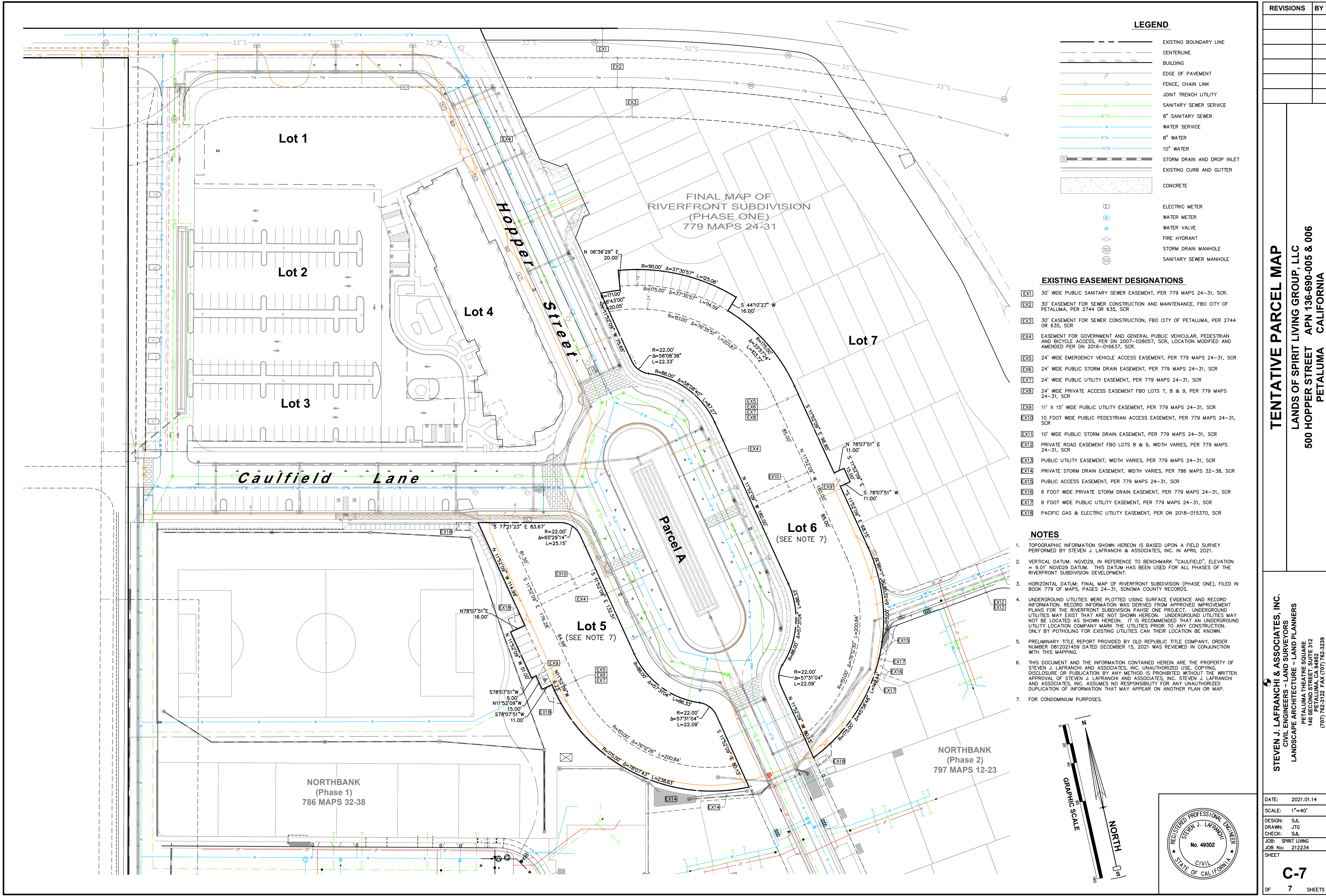
ROOF ACCESS BUILDING 1



ROOF ACCESS BUILDING 2



REVISIONS		BY
PFD LADDER TRUCK STAGING EXHIBIT		
SPIRIT LIVING		
500 HOPPER STREET APN 136-690-005/006		
PETALUMA CALIFORNIA		
STEVEN J. LAFRANCHI & ASSOCIATES, INC.		
CIVIL ENGINEERS - LAND SURVEYORS		
LANDSCAPE ARCHITECTS		
140 SECOND STREET, SUITE 312		
PETALUMA, CALIFORNIA 94952		
(707) 762-3122 FAX (707) 762-3239		
DATE:	2022.01.04	
SCALE:	1" = 20'	
DESIGN:	S.J., CRK	
DRAWN:	CRK	
CHECK:	S.J.	
JOB:	SPIRIT LIVING	
JOB No:	202189	
SHEET	C-6	
OF	5	SHEETS



REVISIONS

BY

TENTATIVE PARCEL MAP

LANDS OF SPIRIT LIVING GROUP, LLC

500 HOPPER STREET

PETALUMA CALIFORNIA

APN 136-690-005 & 006

STEVEN J. LAFRANCHI & ASSOCIATES, INC.

CIVIL ENGINEERS - LAND SURVEYORS

LANDSCAPE ARCHITECTURE - LAND PLANNERS

PETALUMA THEATRE SQUARE

140 SECOND STREET, SUITE 312

PETALUMA, CA 94954

(707) 765-5122 FAX (707) 762-3239

DATE: 2021.01.14

SCALE: 1"=40'

DESIGN: S.J.L.

DRAWN: J.T.G.

CHECK: S.J.L.

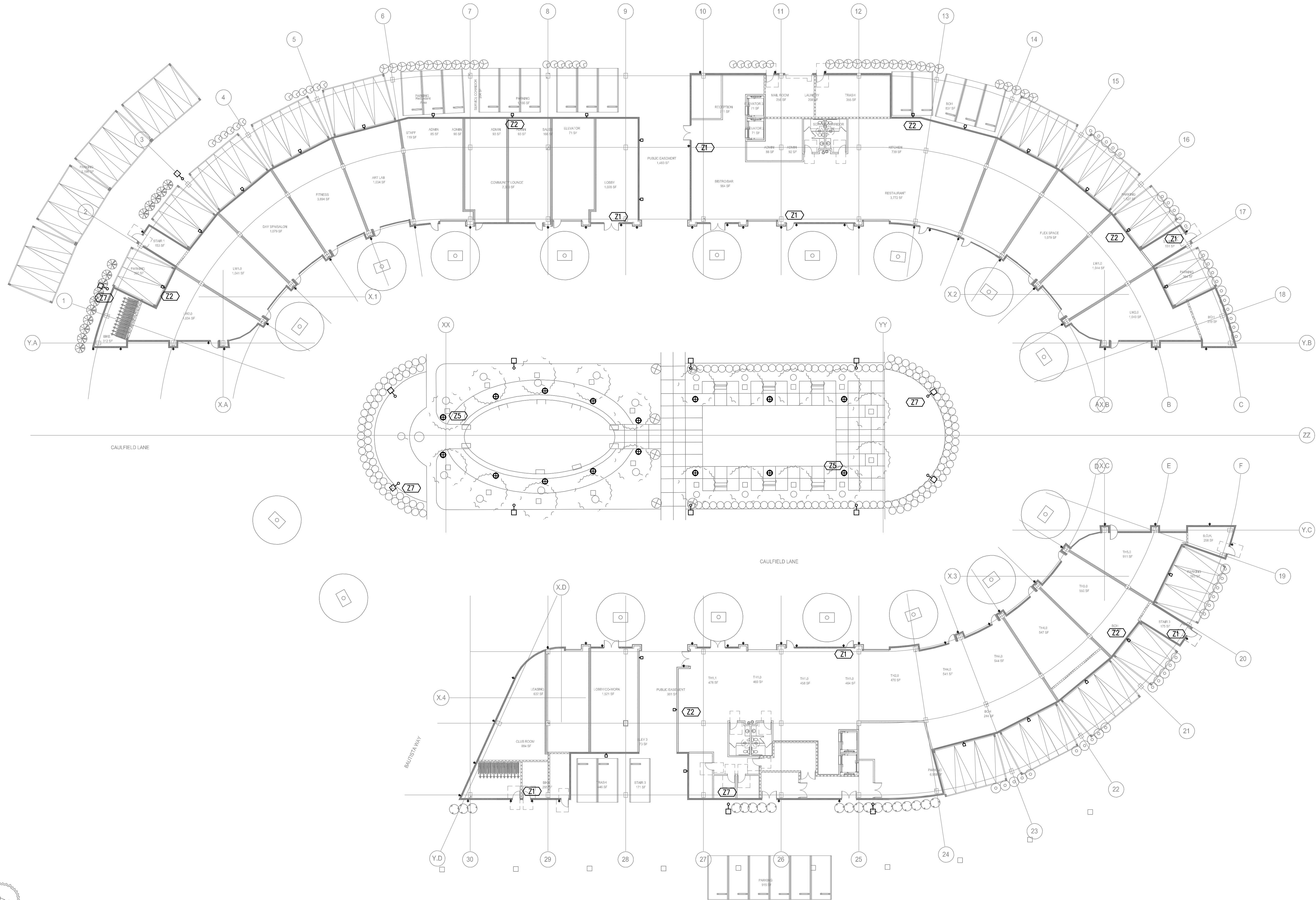
JOB: SPIRIT LIVING

JOB No: 212234

SHEET

C-7

OF 7 SHEETS



FLAG NOTES

1. NOT USED

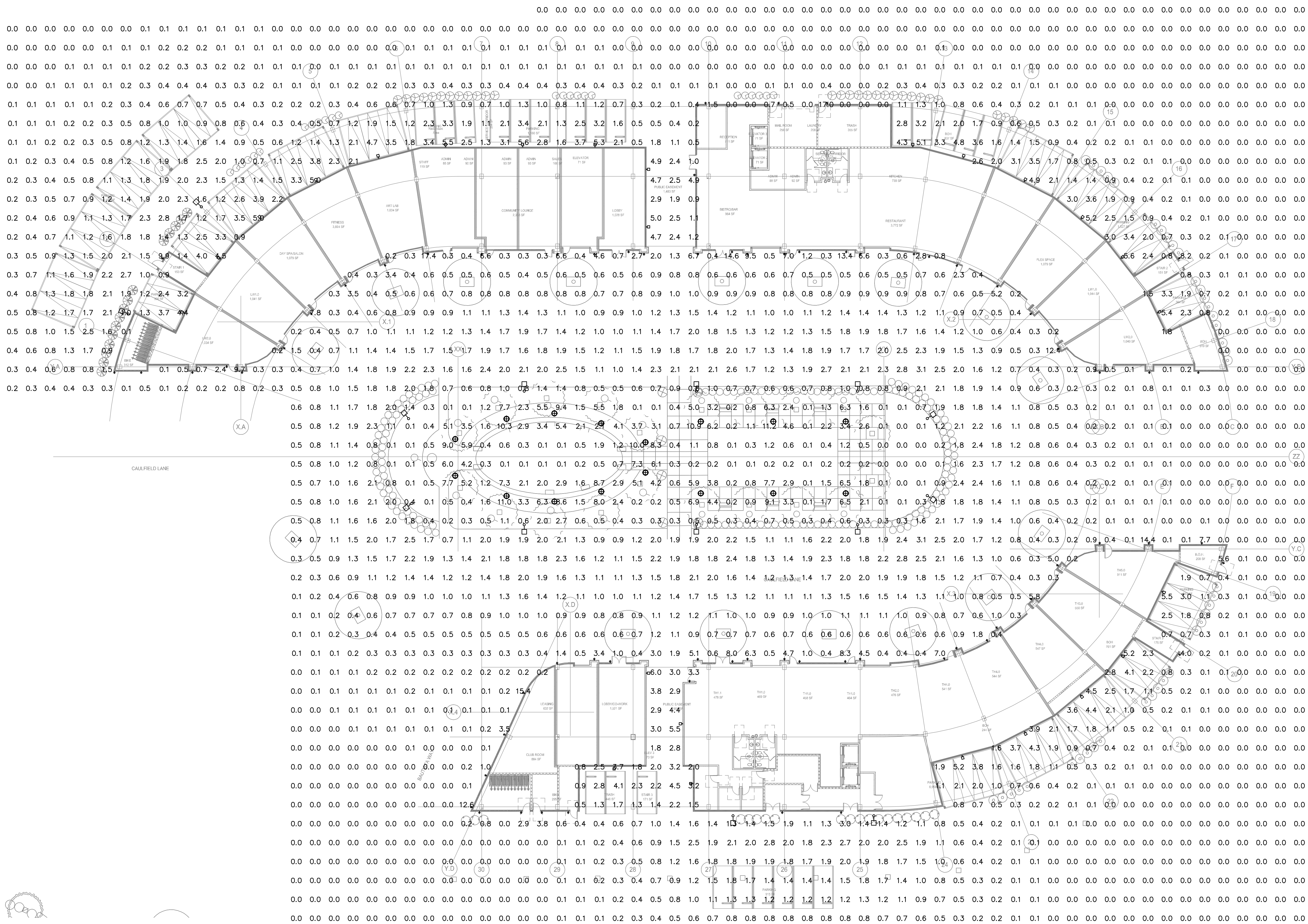
SHEET NOTES:

1. EXTERIOR LIGHTING TO BE CONTROLLED VIA
PHOTOCELL
2. STREET LIGHTING NOT INCLUDED IN
PLAN/PHOTOMETRIC

LIGHTING PLAN

SITE

SCALE: 1" = 20'



 FLAG NOTES

1. NOT USED

SHEET NOTES:





1. EXTERIOR LIGHTING TO BE CONTROLLED VIA PHOTOCELL
2. STREET LIGHTING NOT INCLUDED IN PLAN/PHOTOMETRIC

PHOTOMETRICS PLAN

SITE

SCALE: 1" = 20'

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	LAMP	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTES	OTHER NOTES
Z1		EXTERIOR WALL LIGHT, SMALL CYLINDER, 5" TALL, FULL CUTOFF, MEDIUM FLOW, 4000K, ALUMINUM FINISH, TRANSFORMER LOCATED IN DEEP BOX	(1) 7W LED 4000K	INTEGRAL XFMR IN DEEP BOX	WALL	BK LIGHTING EL CAPITAN EC LED E66 MFL A9 12 11 B, Tr20	7	120V 1P 2W	EXTERIOR WALL. PROVIDE WITH 4" OCTAGON BOX, 1-1/2" DEEP WITH 1-1/2" DEEP EXTENSION, LOCATE DRIVER WITHIN DEEP BOX	
Z2		EXTERIOR WEDGE LIGHT, 11.5"W X 9"H X 7"D, FULL CUTOFF, FORWARD THROW	(1) 15W LED 4000K	ELECTRONIC	WALL	LITHONIA WDGE2 LED P2 40K 90 CRI VF MVOLT DDBXD	15	MULTIPLE	EXTERIOR	
Z5		EXTERIOR 42" TALL BOLLARD, SYMMETRIC DIST., FULL CUTOFF	(1) 28W LED 4000K	ELECTRONIC	CEILING	LITHONIA KBA8 LED 16C 530 40K SY MVOLT	28	120V 1P 2W	SITE, B1-U0-G0	
Z7		16' POLE LIGHT, FULL CUTOFF, TYPE IV, BRONZE, HOUSE SIDE SHIELD	(1) 52W LED 4000K	0-10V DIM	16' SQUARE STEEL POLE, 4" SQUARE, WITH CONCRETE BASE	EATON - STREETWORKS (FORMER COOPER LIGHTING), USLSL-C01-D-U-T4-SA-BZ-HSS WITH 16" STEEL POLE WITH PROVIDE THE FOLLOWING: VGS-F/B: FRONT & BACK SHIELD VGS-SIDE: SIDE SHIELDS	52	208V 2P 2W	SITE LIGHTING PARKING LOT. B2-U0-G2. PROVIDE WITH TUNING DIMMERS	

Z1

EL CAPITAN LED

DATE: PROJECT: TYPE:

CATALOG NUMBER LOGIC

*Requires magnetic low voltage dimmer.

**Please see Adjust-e-Lume photometry to determine desired intensity.

CATALOG NUMBER LOGIC

Example: B - EC - LED - e66 - SP - A6 - MAC - 12 - 11 - B

MATERIAL

(Brass) - Aluminum B - Brass S - Stainless Steel

SERIES

EC - El Capitan

SOURCE

LED - with Integral Dimming Driver (25W min. load when dimmed)**

LED TYPE

e64 - 7W LED/2700K e66 - 7W LED/4000K

e65 - 7W LED/3000K e74 - 7W LED/Amber

OPTICS

NSP - Narrow Spot (13°) WFL - Medium Flood (23°)

Spot (16°) WFL - Wide Flood (31°)

ADJUST-E-LUME OUTPUT INTENSITY**

A9 (Standard), A8, A7, A6, A5, A4, A3, A2, A1

FINISH (See page 2 for all-color swatches)

Standard Finishes (B2P, B2W, BLP, BLW, WHF, WHW, SAP, VER)

Premium Finish (BPP, AMG, ACOW, BGM, BGE, BPP, CAP, CMG, CRI, CRM, HJG, HJW, NBP, OCP, RMG, SDS, SMG, TXF, WCP, WIR)

Also available in RAL Finishes
 Brass Finishes (MAC, POL, MIT)
 Stainless Steel Finishes (MAC, POL)

LENS TYPE

12 - Soft Focus 13 - Rectilinear

SHIELDING

11 - Honeycomb Baffle

CAP STYLE

A - 45°


B - 90°

C - Flush

D - 45° Less Weephole (Interior use only)

E - 90° Less Weephole (Interior use only)

F - 90° with Flush Lens






Z2

WDGE2 LED

Architectural Wall Sconce

Visual Comfort Optic

Buy American

Specifications

Depth (D1): 1.5" D2

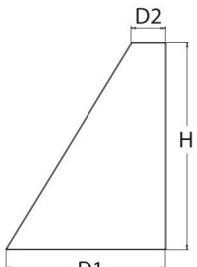
Depth (D2): 1.5" H

Height: 9" D1

Width: 11.5" W

Weight: 135 lbs

(without options)



Category Number

Notes

Type

[View this page in our e-product viewer.](#)

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectangular design comes in four sizes with luminaire packages ranging from 1,000 to 25,000 lumens, providing a true site-wide solution. Embedded with high-airlight ARB wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-polluted light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, VCS	Gold-EM, 20°C	Sensor	Approximate lumens (6000K, 80CRI)									
					P0	P1	P2	P3	P4	P5	P6	P7	P8	P9
WDGE1 LED	Visual Comfort	4W		—	750	1,200	2,000	—	—	—	—	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standard / e-light	—	1,200	2,000	3,000	4,500	6,000	—	—	—	—
WDGE3 LED	Precision Reflective	10W	18W	Standard / e-light	700	1,200	2,000	3,000	4,500	6,000	—	—	—	—
WDGE4 LED	Precision Reflective	15W	18W	Standard / e-light	—	7,500	8,500	10,000	12,000	—	—	—	—	—
WDGE4 LED	Precision Reflective	—	—	Standard / e-light	—	12,000	16,000	18,000	20,000	22,000	25,000	—	—	—

Ordering Information

Series	Package	Color Temperature	CRI	Distribution	Wattage	Mounting
WDGE2 LED	P1 ¹	P15W	27K / 500K	90CRI	Y1	Visual Comfort
	P2 ²	P15W	30K / 300K	90CRI	Y1	Visual Comfort
	P3 ³	P15W	30K / 300K	90CRI	Y1	Visual Comfort
	P4 ⁴	P15W	40K / 400K	90CRI	Y1	Visual Comfort
	P5 ⁵	P15W	50K / 300K	90CRI	Y1	Visual Comfort

¹ See wall washer (P10) for recommended accessories.
² See page 10 for more information.

EXAMPLE: WDGE LED P3 40K 80CRI VF MVOLT SRM DBDX

Series	Package	Color Temperature	CRI	Distribution	Wattage	Mounting
WDGE2 LED	P1 ¹	P15W	27K / 500K	90CRI	Y1	Visual Comfort
	P2 ²	P15W	30K / 300K	90CRI	Y1	Visual Comfort
	P3 ³	P15W	30K / 300K	90CRI	Y1	Visual Comfort
	P4 ⁴	P15W	40K / 400K	90CRI	Y1	Visual Comfort
	P5 ⁵	P15W	50K / 300K	90CRI	Y1	Visual Comfort

¹ See wall washer (P10) for recommended accessories.
² See page 10 for more information.

Z5

KBA8 LED LED Specification Bollard

Buy American

Specifications

8" Round
(203mm)

Size
12" (305mm)

Height
27" (686mm)

Weight
(empty)
27 lbs (12 kg)

Catalog
Number

Notes

Type

For the full list of models, see the page for list of referenced models.

Introduction

The KBA8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customised performance.

With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBA8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: KBA8 LED 16C 700 40K SYM MVOLT DBDXX

KBA8 LED									
Series	LEDs	Drive current	Color temperature		Distribution	Voltage	Control options		
KBA8 LED	Asymmetric	350 350 mA	35K	3000 K	ASY Asymmetric ¹	MVOLT ²	Shipped installed PE Photostatic on, button type DIM 0 to 100 dimming (see pulsed output feature for use with an external control, optionally) BLOW Emergency battery backup, C (100 to 200wattage) ³		
	12C 12 LEDs	450 450 mA ⁴	40K	4000 K	SYM Symmetric ²	120V ⁵			
	16C 16 LEDs	500 500 mA	50K	5000 K		240V ⁶			
	16C 16 LEDs	700 700 mA	AMBPC	Ambi-phosphor controlled		277V ⁷			
			AMBWL	Ambi-limited wavelength ^{1,2}		347V ⁸			
Other options									
				Finish ^{9,10,11}					
Shipped installed				DW16D	White				
SI	Single face (12, 17, 24V) ¹²		DW16D	Natural aluminum					
BI	Double face (12, 17V) ¹²		DW16D	Dark bronze					
B24	24" overall height		DW16D	Black					
H30	30" overall height		DW16D	Textured dark bronze					
H36	36" overall height		DW16D	Textured black					
FG	Ground fault/breaker outlet		DW16D	Textured natural aluminum					
LAB	Without anchor bolts (3 bolt base)		DW16D	Textured white					
LABA	3-bolt retrofit base without anchor bolts ¹³		DW16D						

Accessories

WBA80 Anchor bolts for KBA8 LED¹⁴

NOTES

1 Only available in the 12C, ASY version.
 2 Only available in the 16C, SYM version.
 3 Only available with 450 AMBWL version.
 4 Not available with BLOW.
 5 MVOLT driver operates on any line voltage from 120-277V (50/60Hz). Security 120, 240, and 277 voltages only available with BLOW.
 6 fusing DSF, DSF optional, or photoresistor (PE optional).

6 Not available with 347V. Not available with fusing. Not available with 450 AMBWL.
 7 Single phase DSF requires 120, 277, or 347 voltage option. Double phase DSF requires 240 or 277 voltage option.
 8 MVOLT is not available with LABA option.
 9 Stripping is available only in the colors listed.

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-755-SERV (3782) • www.lithonia.com
 © 2013-2021 Acuity Brands Lighting, Inc. All rights reserved. Rev. 07/2021

KBA8 LED
Rev. 07/2021

27

Project	Catalog #	Type
Prepared by	Notes	Date

Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 4
- Product Specifications page 4
- Energy and Performance Data page 5
- Control Options page 6

Quick Facts

- Lumen packages range from 4,800 - 52,300 lumens (35W - 350W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

USLL Flex

USLL

USLL XL

NOTES:
1. All dimensions are approximate, please refer to product specifications. Not all product variations are IEC certified.
2. IEC Certified for 2000K CCT and warmer only.

Streetworks

USLL LED

Area / Site Luminaire

Product Features

Product Certifications

Connected Systems

- WaveLinx

COOPER
Lighting Solutions

PS05000229
February 14, 2022 10:08

GENERAL NOTES

- A. SITE PLAN IS FOR GENERAL BUILDING ORIENTATION AND ENLARGED PLAN REFERENCES.
- B. SEE JOINT TRENCH DRAWINGS FOR ON/OFF-SITE DRY UTILITY PLANS.
- C. SEE CIVIL DRAWINGS FOR ON/OFF-SITE UTILITY PLANS, IMPROVEMENTS, GRADING, DRAINAGE AND STORM WATER TREATMENT.
- D. SEE LANDSCAPE DRAWINGS FOR SITE FINE GRADING, PAVING PLAN, PLANTING PLAN, AND IRRIGATION PLAN.
- E. SEE A0.3X FOR BUILDING AREA CALCULATIONS.
- F. SEE A0.4X FOR EGRESS CALCULATIONS & DIAGRAMS.
- G. UNIT PLANS SHOWN HERE ARE DIAGRAMATIC REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- H. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, XXX' = 0'-0".
- I. MINIMUM SLOPE AT FLAT ROOF SHALL BE 3/8"/FT, U.O.N.
- J. REFER TO THE 1/8" AND 1/4" PLANS FOR THE DOOR TAGS. REFER TO DOOR SCHEDULE INDICATING ALL REQUIRED RATED DOOR LOCATIONS.
- K. AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
- L. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE (1) CONTINUOUSLY ACCESSIBLE; (2) HAVE A MAXIMUM 1/2" CHANGES IN ELEVATION; OR PROVIDE CURB RAMP COMPLIING WITH CBC 1112A OR 11B-405; (3) ARE MINIMUM 48" IN WIDTH; AND (4) WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE PEDESTRIAN RAMPS COMPLIING WITH CBC 1114A OR 11B-405; PER CBC 1113A & 11B-202.4

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

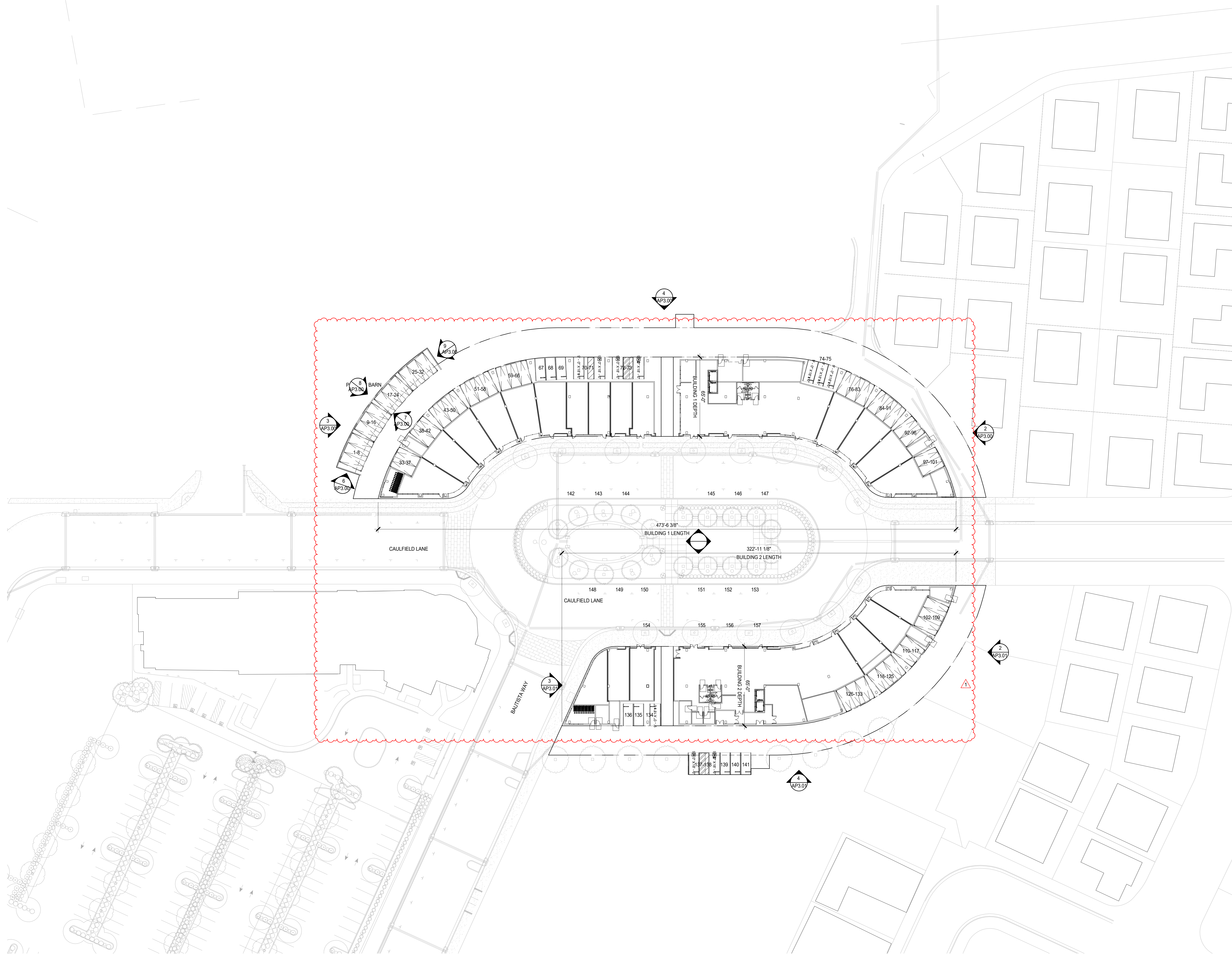
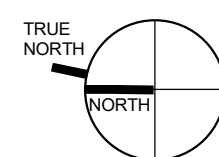
REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L 1	

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

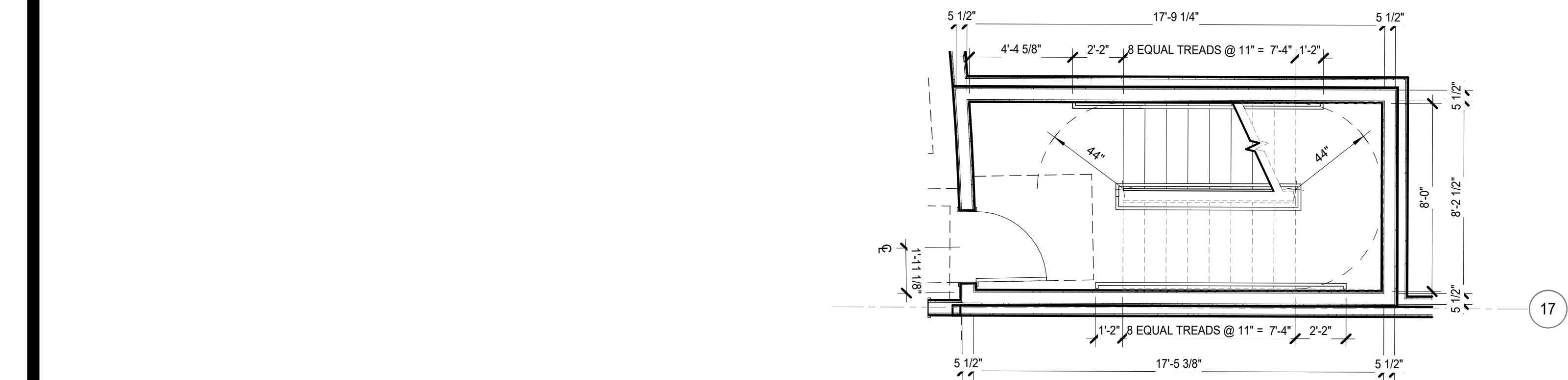
SITE PLAN -
FLOOR 1

SHEET TITLE:
SCALE: As indicated
PROJ.# 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

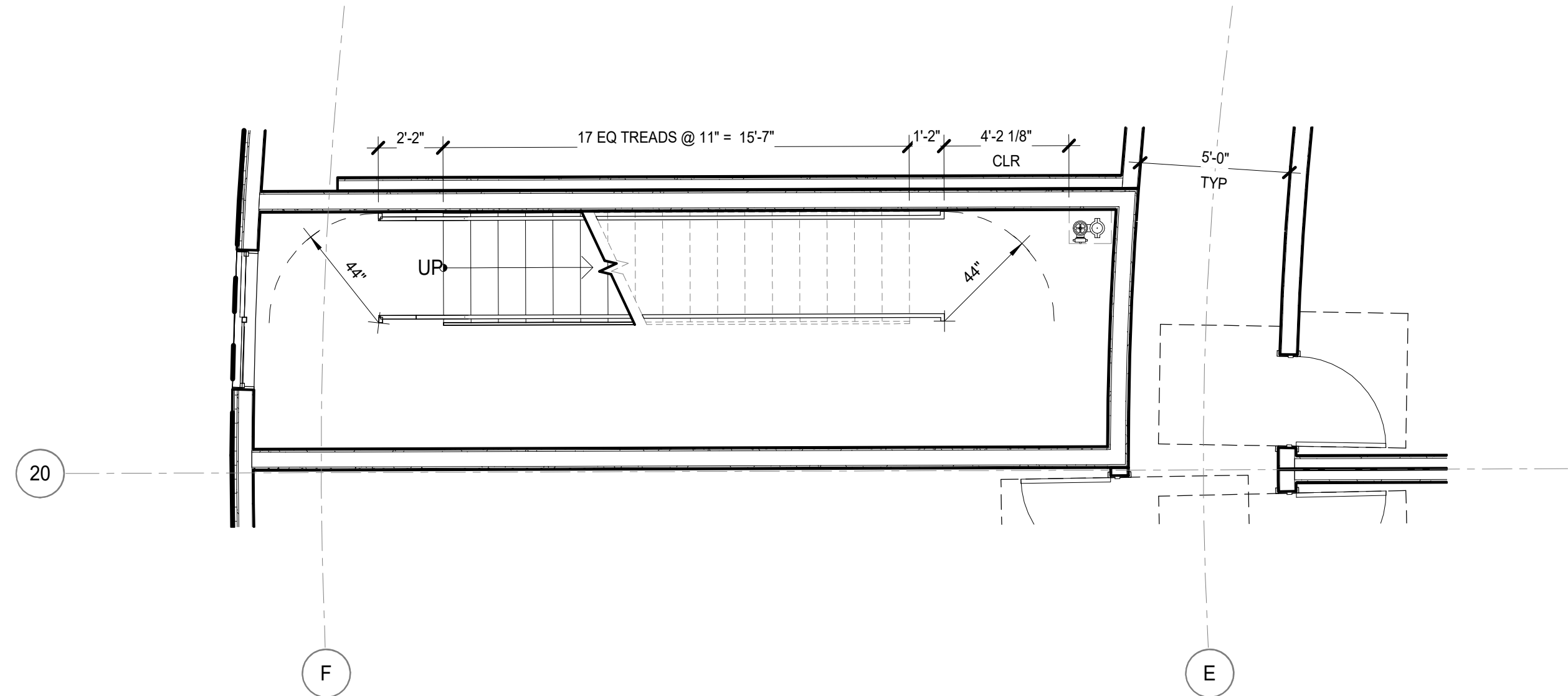
SITE PLAN - FLOOR 1 1
1/32" = 1'-0"



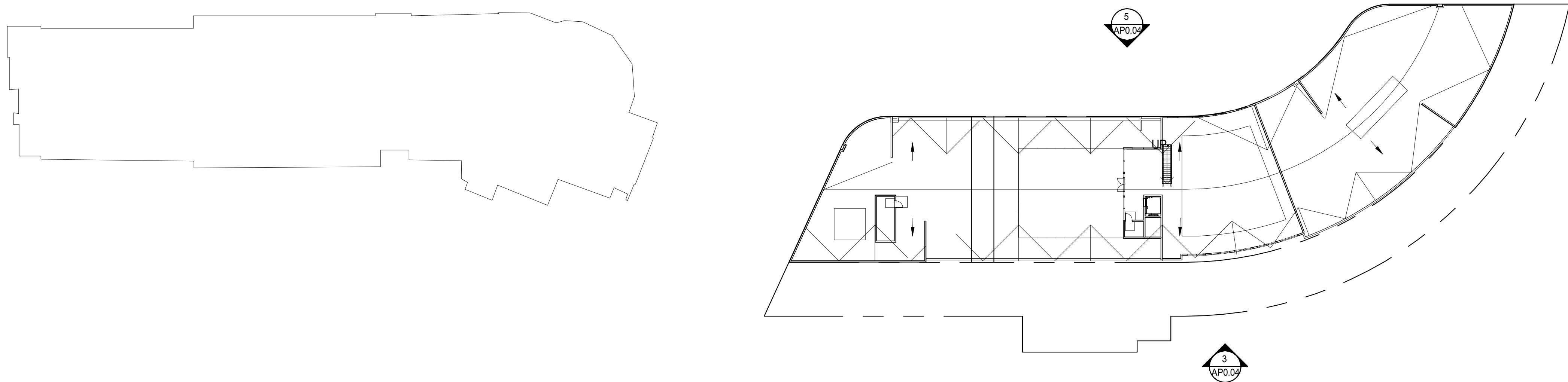
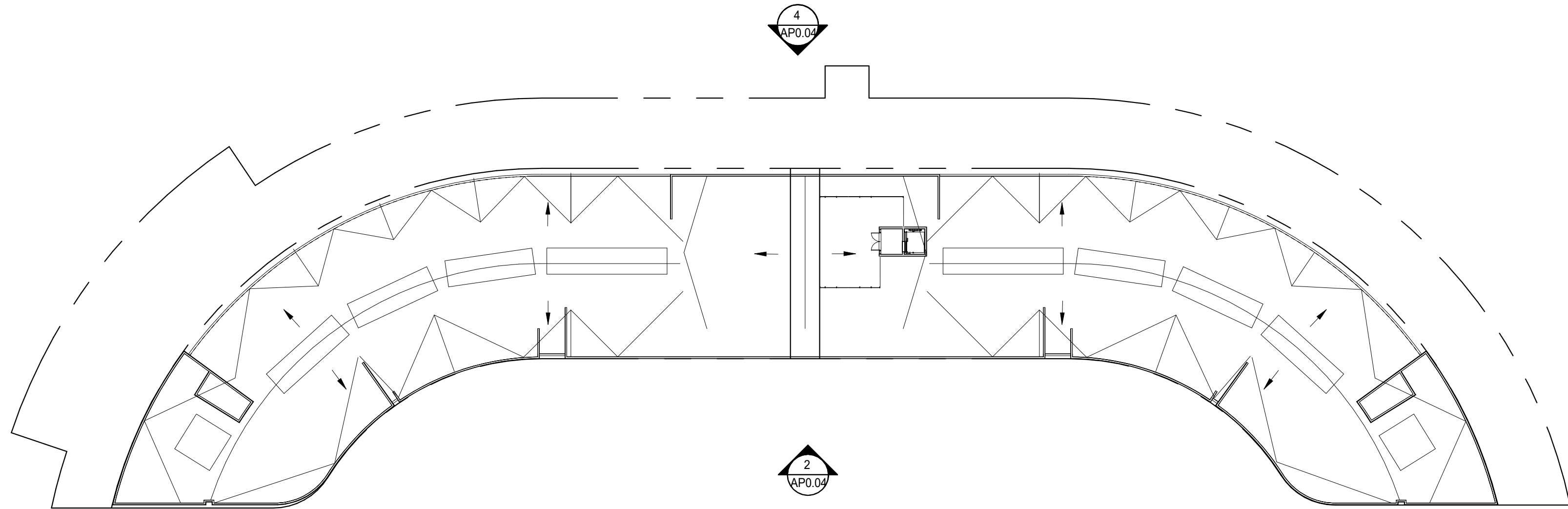
9/10/2022 4:03:28 PM



SWITCH BACK STAIR - TYPICAL 3
1/4" = 1'-0"



SINGLE RUN STAIR - TYPICAL 2
1/4" = 1'-0"



SITE PLAN - ROOF PLAN & ELEVATION & STAIR PLANS 1
1/32" = 1'-0"

- GENERAL NOTES**
- SITE PLAN IS FOR GENERAL BUILDING ORIENTATION AND ENLARGED PLAN REFERENCES.
 - SEE JOINT TRENCH DRAWINGS FOR ON/OFF-SITE DRY UTILITY PLANS.
 - SEE CIVIL DRAWINGS FOR ON/OFF-SITE UTILITY PLANS, IMPROVEMENTS, GRADING, DRAINAGE AND STORM WATER TREATMENT.
 - SEE LANDSCAPE DRAWINGS FOR SITE FINE GRADING, PAVING PLAN, PLANTING PLAN, AND IRRIGATION PLAN.
 - SEE A0.3X FOR BUILDING AREA CALCULATIONS.
 - SEE A0.4X FOR EGRESS CALCULATIONS & DIAGRAMS.
 - UNIT PLANS SHOWN HERE ARE DIAGRAMATIC REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
 - SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, XXX' = 0'-0",
 - MINIMUM SLOPE AT FLAT ROOF SHALL BE 3/8"/FT, U.O.N.
 - REFER TO THE 1/8" AND 1/4" PLANS FOR THE DOOR TAGS. REFER TO DOOR SCHEDULE INDICATING ALL REQUIRED RATED DOOR LOCATIONS.
 - AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
 - WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE (1) CONTINUOUSLY ACCESSIBLE; (2) HAVE A MAXIMUM 1/2" CHANGES IN ELEVATION, OR PROVIDE CURB RAMPS COMPLYING WITH CBC 1112A OR 11B-405; (3) ARE MINIMUM 48" IN WIDTH; AND (4) WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 1114A OR 11B-405; PER CBC 1113A & 11B-202.4

BDE
ARCHITECTURE
934 Howard Street
San Francisco, CA
94103

P. (415) 677-0966

CLIENT

Spirit
LIVING GROUP

CONSULTANT

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

REV	ISSUE	DATE
	ENTITLEMEN T	5.5.22
1	PLANNING RESUBMITTA L 1	6.6.22

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

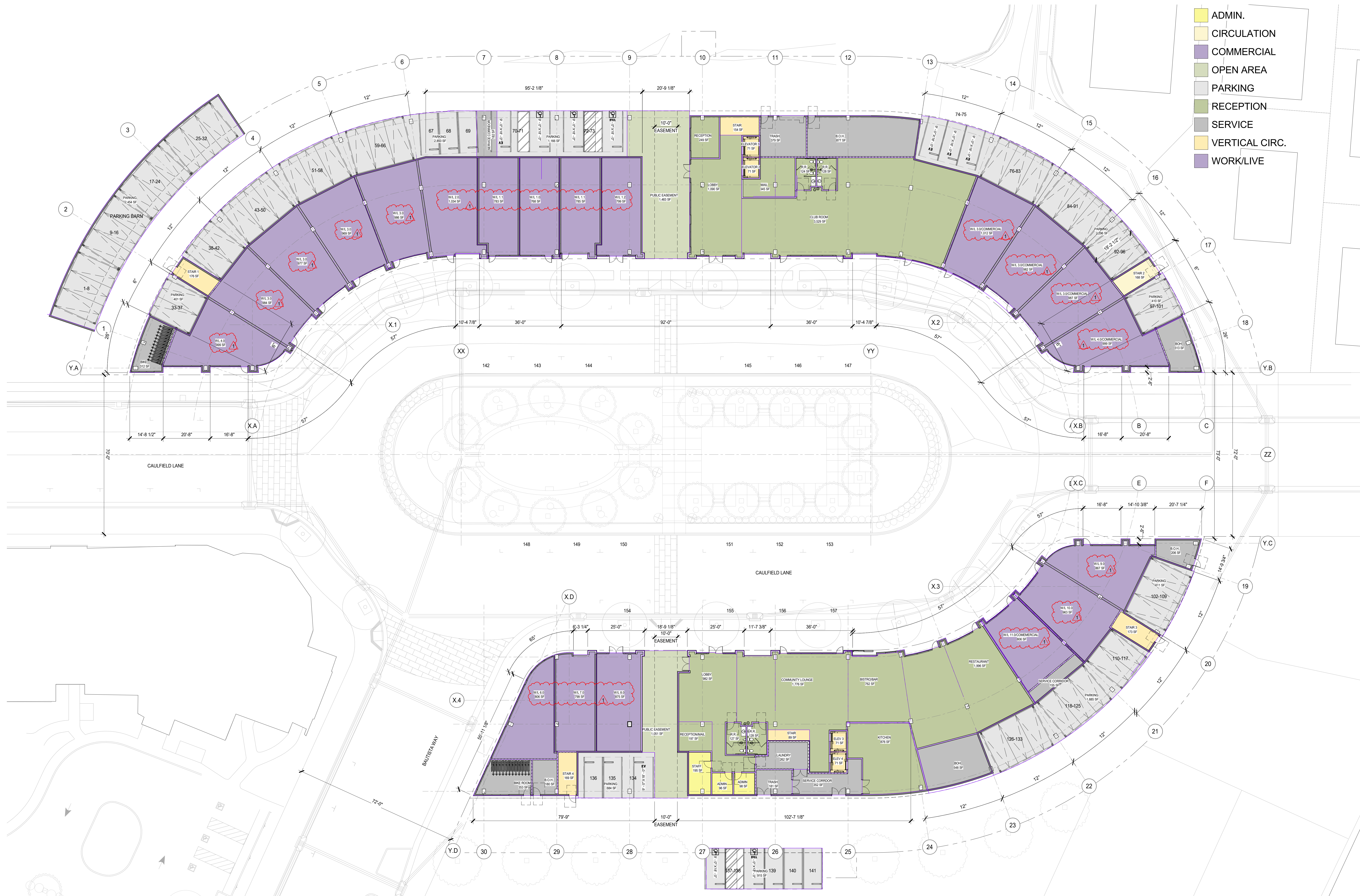
**SITE PLAN -
ROOF PLAN &
ELEVATION
STAIR PLANS**
SHEET
SCALE:
As indicated
PROJ.#: 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

AP1.03

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

Schema 1 Legend

- ADMIN.
- CIRCULATION
- COMMERCIAL
- OPEN AREA
- PARKING
- RECEPTION
- SERVICE
- VERTICAL CIRC.
- WORK/LIVE



REV	ISSUE	DATE
T	ENTITLEMENT	5.5.22
1	PLANNING RESUBMITTAL	6.6.22
L1		

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

FLOOR 1 - PLAN

SHEET TITLE:
SCALE: 1/16" = 1'-0"
PROJ. # 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

BUILDING PLAN - FLOOR 1 1

1/16" = 1'-0"

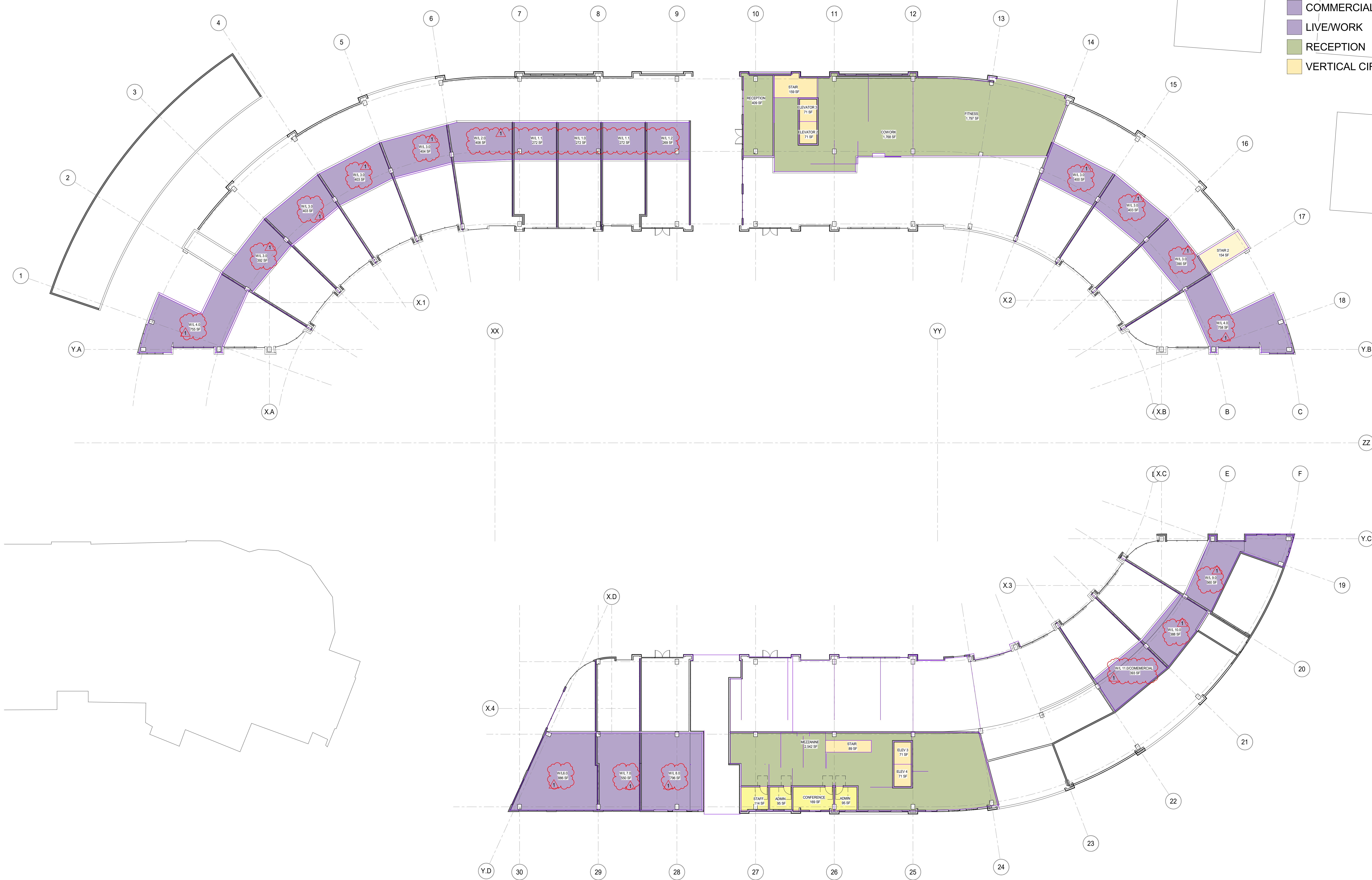


AP2.01

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

Schema 1 Legend

- ADMIN.
- CIRCULATION
- COMMERCIAL
- LIVE/WORK
- RECEPTION
- VERTICAL CIRC.



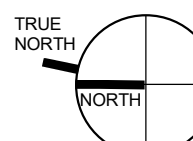
REV	ISSUE	DATE
T	ENTITLEMENT	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L1	

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREON CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

MEZZANINE -
PLAN

SHEET TITLE:
SCALE: 1/16" = 1'-0"
PROJ.# 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

MEZZANINE 1
1/16" = 1'-0"



REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L1	

STAMP

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

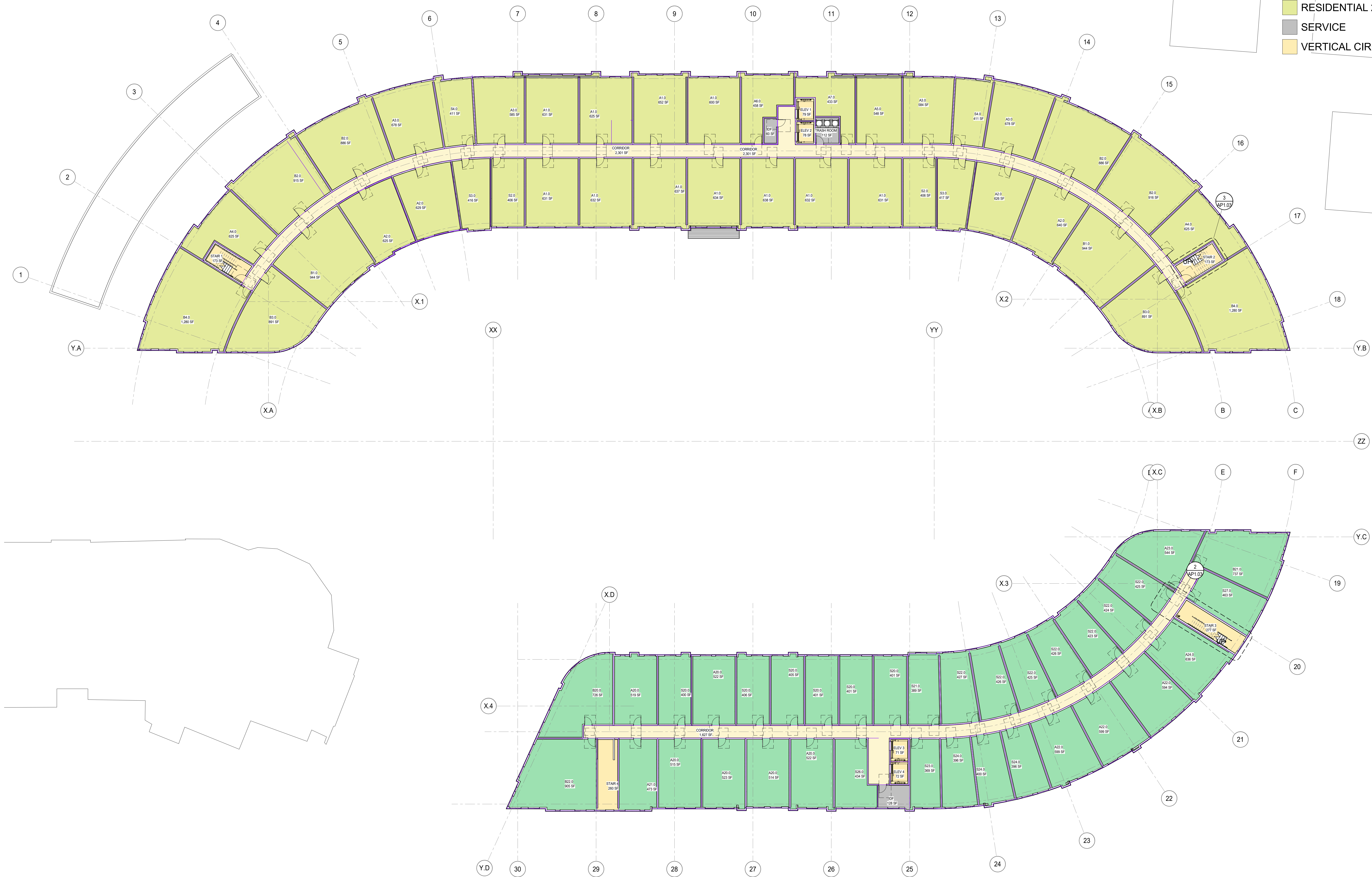
FLOOR 2 - PLAN

SHEET TITLE:
SCALE: 1/16" = 1'-0"
PROJ.#: 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

AP2.02

Schema 1 Legend

- CIRCULATION
- RESIDENTIAL
- RESIDENTIAL 2
- SERVICE
- VERTICAL CIRC.

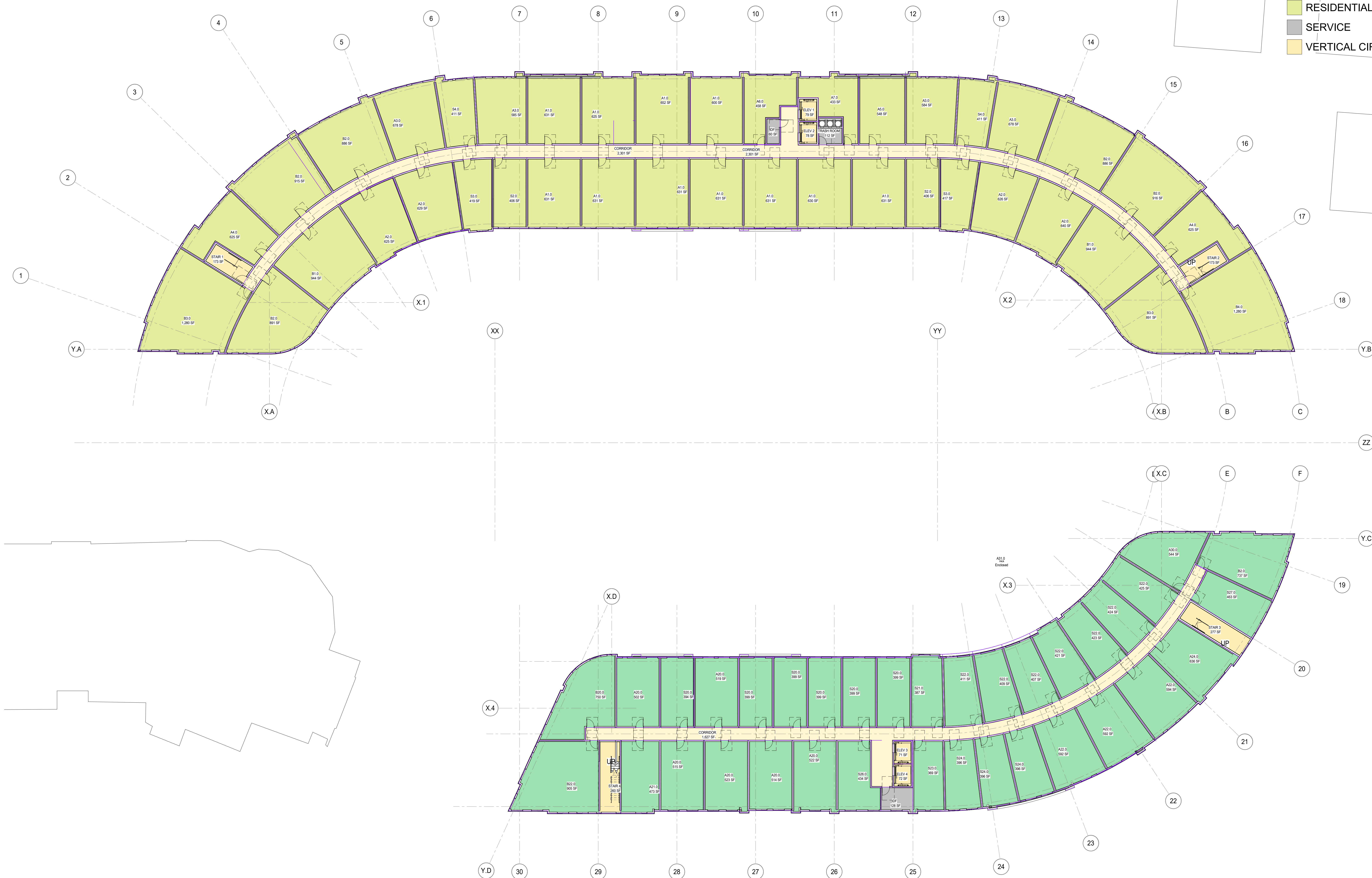


BUILDING PLAN - FLOOR 2 1
1/16" = 1'-0"



Schema 1 Legend

- CIRCULATION
- RESIDENTIAL
- RESIDENTIAL 2
- SERVICE
- VERTICAL CIRC.



REV	ISSUE	DATE
T	ENTITLEMENT	5.5.22
1	PLANNING RESUBMITTA	6.6.22
L	L	

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

FLOOR 3 - PLAN

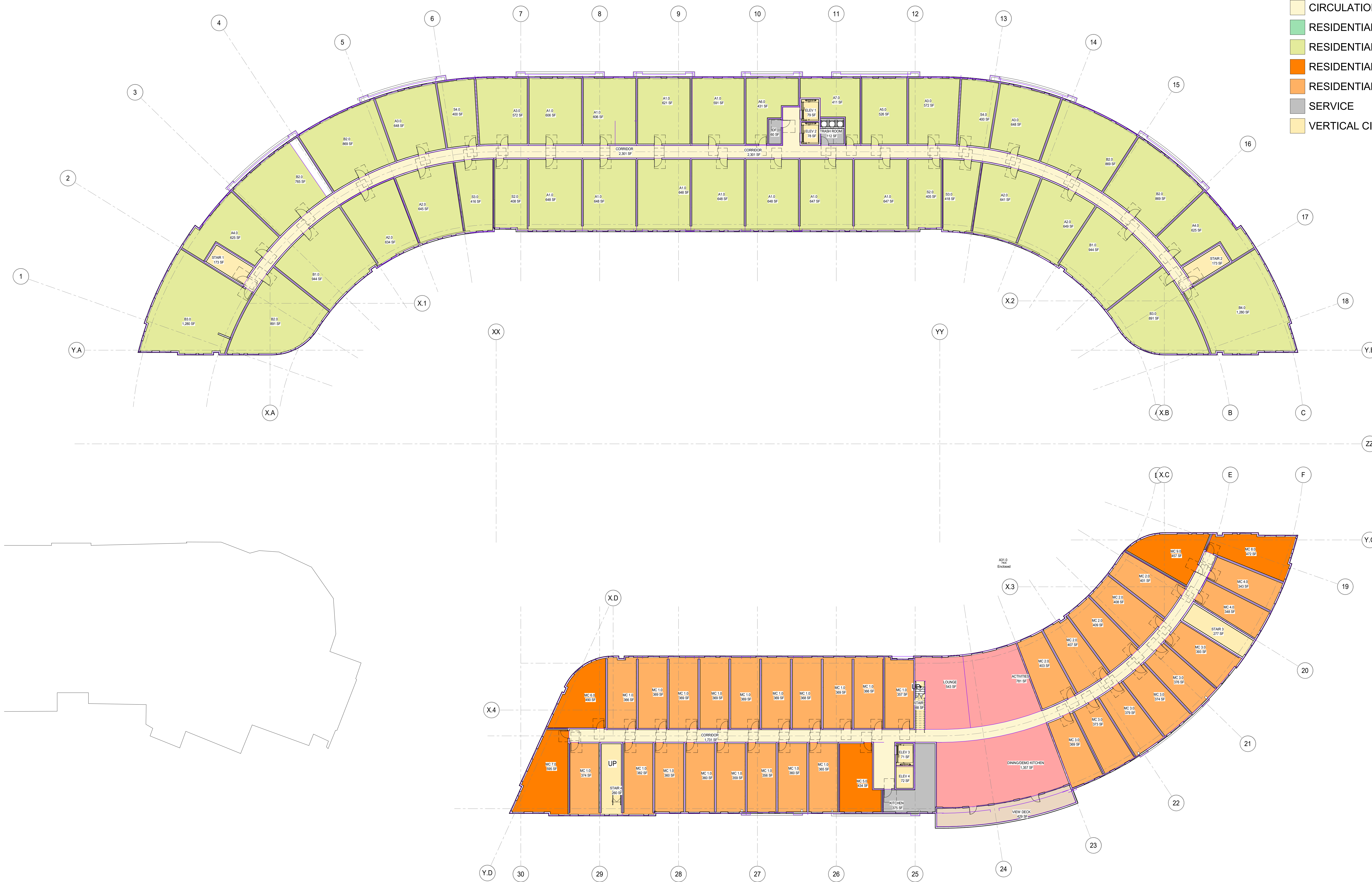
SHEET TITLE:
SCALE: 1/16" = 1'-0"
PROJ.#: 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

BUILDING PLAN - FLOOR 3 1
1/16" = 1'-0"



Schema 1 Legend

- AMENITY 2
- AMENITY 3
- CIRCULATION
- RESIDENTIAL
- RESIDENTIAL 2
- RESIDENTIAL LG STUDIO
- RESIDENTIAL SM STUDIO
- SERVICE
- VERTICAL CIRC.



REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING RESUBMITTA L 1	6.6.22

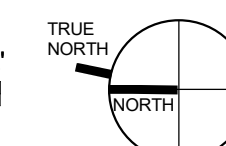
STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREON CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

FLOOR 4 - PLAN

SHEET TITLE:
SCALE: 1/16" = 1'-0"
PROJ.# 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

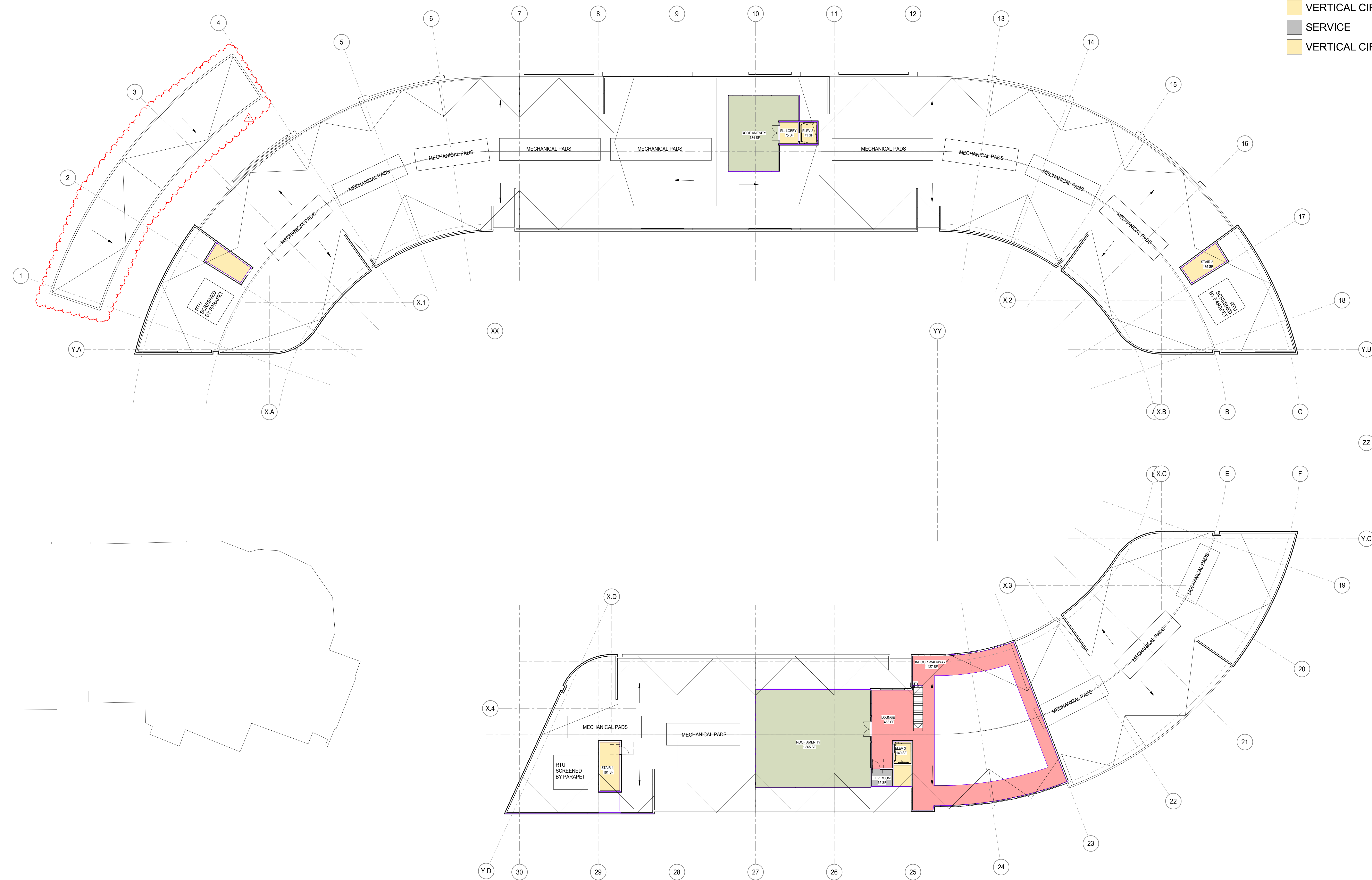
BUILDING PLAN - FLOOR 4 1

1/16" = 1'-0"



Schema 1 Legend

- AMENITY 2
- OPEN AREA
- VERTICAL CIRCULATION / CORES
- SERVICE
- VERTICAL CIRC.



BUILDING PLAN - ROOF 1

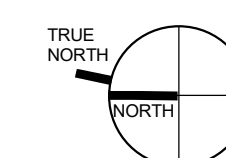
1/16" = 1'-0"

REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
L	RESUBMITTA	L 1

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

ROOF - PLAN

SHEET TITLE:
SCALE: 1/16" = 1'-0"
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42



500 HOPPER
500 HOPPER STREET
PETALUMA, CA

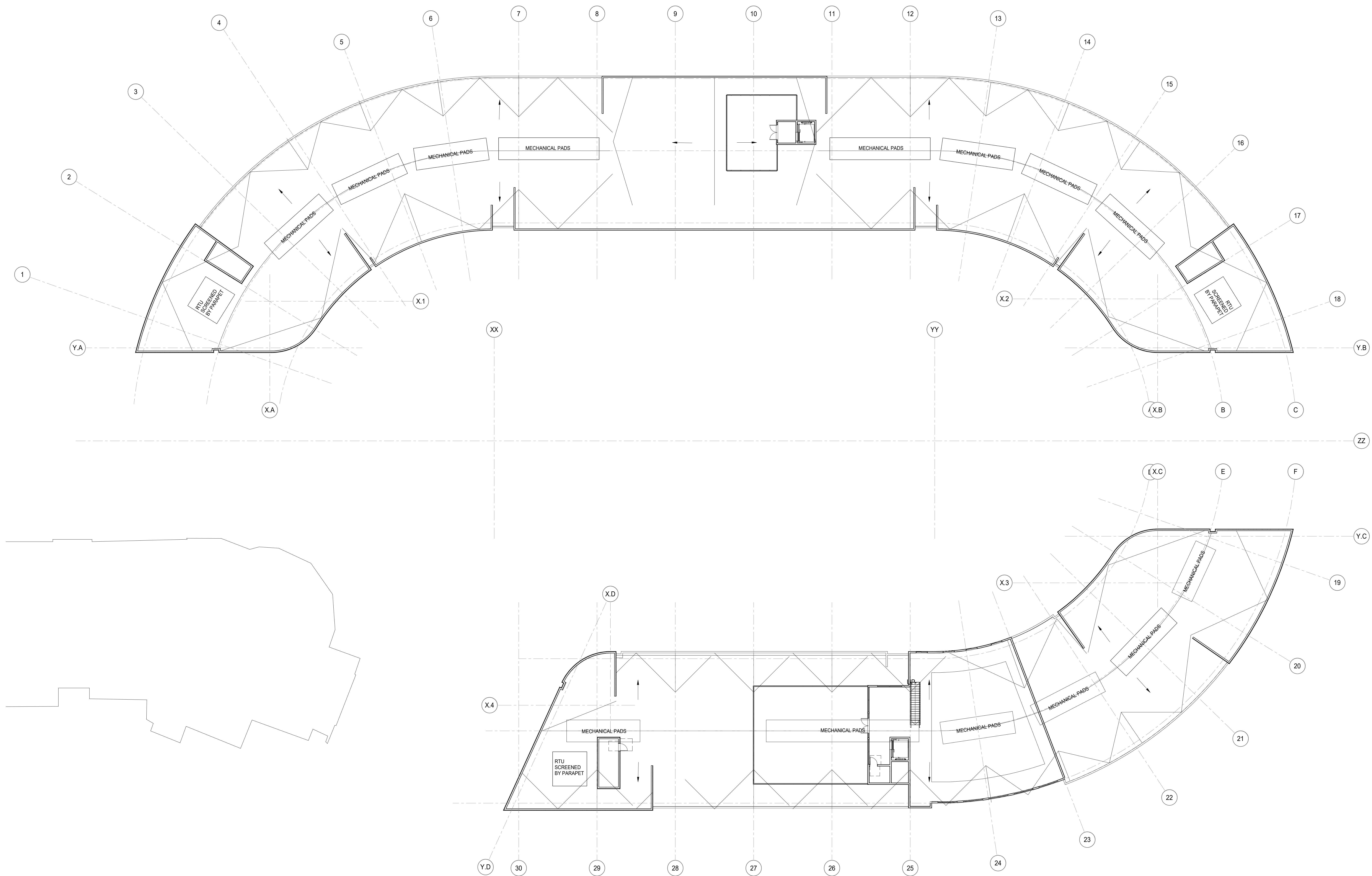
REV	ISSUE	DATE
	ENTITLEMEN T	5.5.22
1	PLANNING RESUBMITTA L 1	6.6.22

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

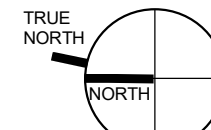
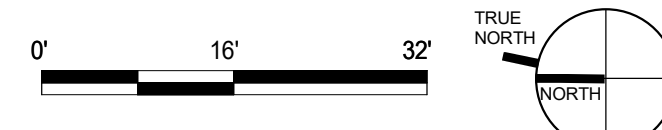
UPPER ROOF -
PLAN

SHEET TITLE:
SCALE: 1/16" = 1'-0"
PROJ.# 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42

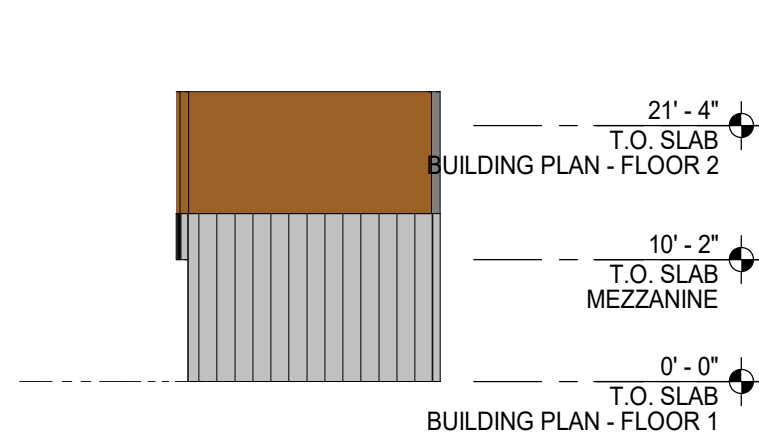
AP2.06



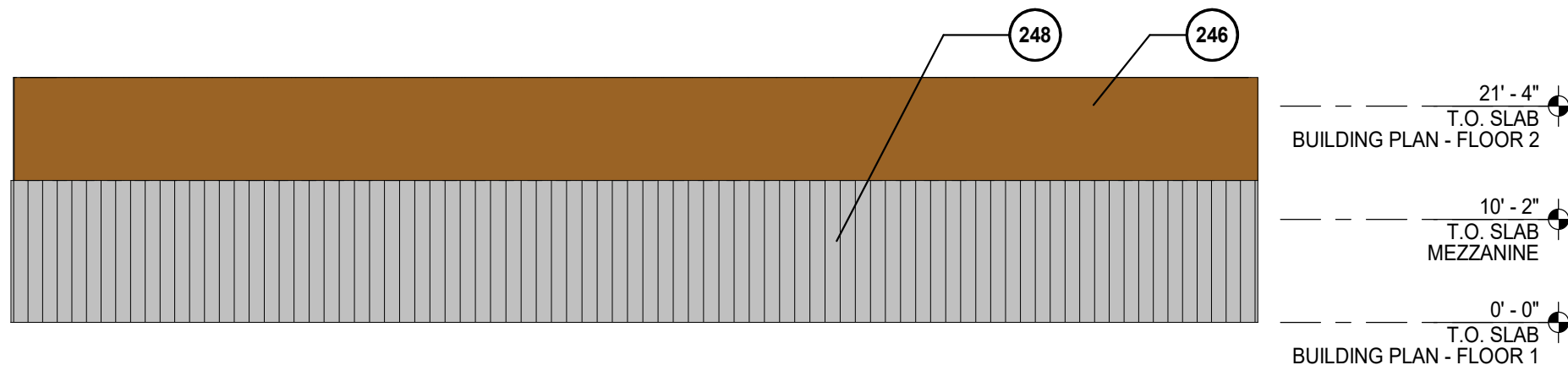
PLANNING - SITE PLAN - UPPER ROOF 1
1/16" = 1'-0"



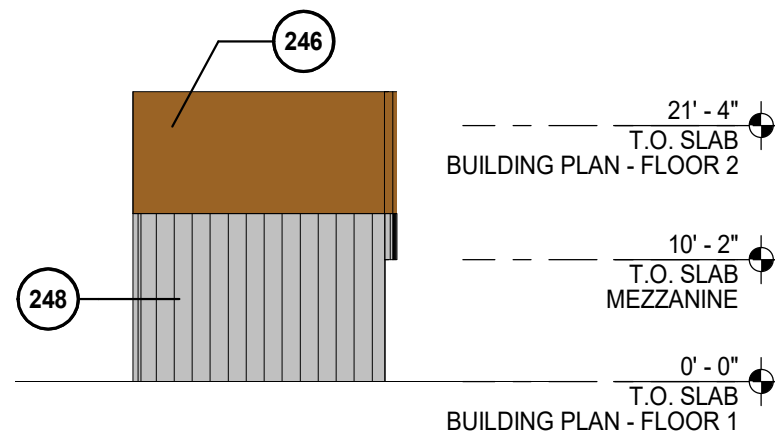
PARKING BARN (LOT 6) - EAST ELEVATION 9
1/16" = 1'-0"



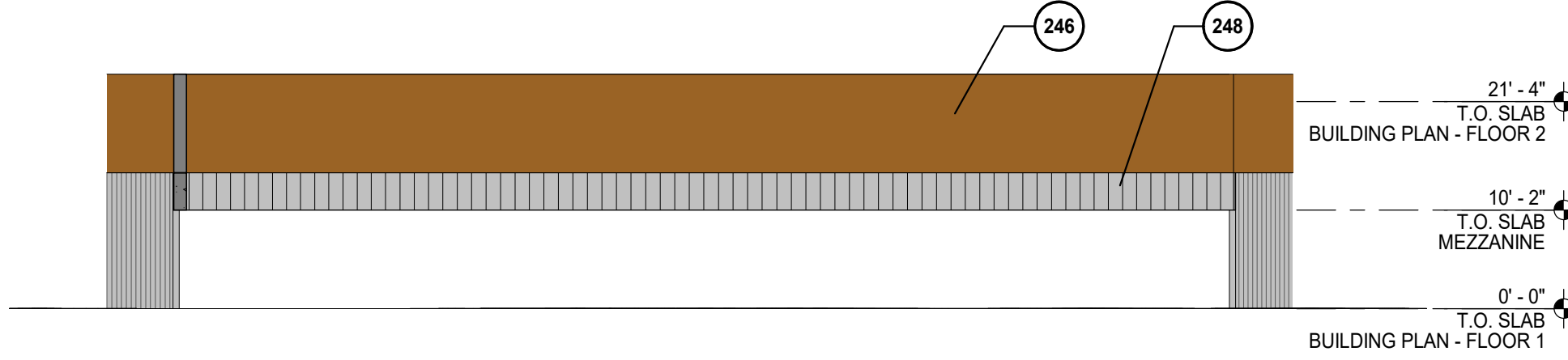
PARKING BARN (LOT 6) - NORTH ELEVATION 8
1/16" = 1'-0"



PARKING BARN (LOT 6) - WEST ELEVATION 6
1/16" = 1'-0"



PARKING BARN (LOT 6) - SOUTH ELEVATION 7
1/16" = 1'-0"



BUILDING 1 (LOT 6) - EAST ELEVATION 4
1/16" = 1'-0"



BUILDING 1 (LOT 6) - NORTH ELEVATION 3
1/16" = 1'-0"





BUILDING 2 (LOT 5) - WEST ELEVATION 4
1/16" = 1'-0"



BUILDING 2 (LOT 5) - NORTH ELEVATION 3
1/16" = 1'-0"



BUILDING 2 (LOT 5) - SOUTH ELEVATION 2
1/16" = 1'-0"



BUILDING 2 (LOT 5) - EAST ELEVATION 1
1/16" = 1'-0"

GENERAL NOTES

- A. U.O.N. DIMENSIONS ARE TO FACE OF STUD OR FOUNDATION WALL, TYP. (FOR TYPE III OR TYPE V) FOR METAL-FRAMED BUILDINGS THE DIMENSIONS ARE TO THE FACE OF DRYWALL.
- B. SITE ELEVATION HEIGHT OF XXX.XX = 0.0' DATUM.
- C. SEE A0.2X FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
- SEE SHEET A10.X FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
- D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
- E. G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
- F. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER FRAMED VOIDS.
- G. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 1/4"1'-0" TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- I. G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- J. CONCRETE CURBS SHALL BE INCLUDED AS INDICATED IN ARCHITECTURAL DRAWINGS IN ADDITION TO CURBS SHOWN ON STRUCTURAL DRAWINGS.
- K. THRESHOLDS MUST BE COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS, MAX 1/2" HEIGHT.
- L. PROVIDE BUILT-UP EPOXY GROUT LEVELING COMPOUND AT DECKS AS REQ'D TO PROVIDE LEVEL SURFACE AND 1/2" MAX THRESHOLD. FEATHER LEVELING COMPOUND INTO DECK SURFACE AT MAX 2% SLOPE.
- M. THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- N. ACOUSTIC SEALANT WHERE INDICATED IN DRAWINGS AND SPECS SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE CONTRACT DOCUMENTS, AND IN THE ACOUSTICAL REPORTS.
- O. G.C. TO COORDINATE AND VERIFY ELEVATION OF TOP OF SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINISH SIDEWALK IS LEVEL W/ T.O.S.
- P. ALL WINDOWS U.O.N. SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
- Q. ADDRESS SIGNAGE ON BUILDING ELEVATION SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND WITH A MINIMUM STROKE WIDTH OF 1/2" WIDE. INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2
- R. ALL EXTERIOR MATERIALS RETURN TO THE NEXT INSIDE CORNER U.O.N.

KEYNOTE LEGEND - MATERIAL ELEVATION	
KEY VALUE	KEYNOTE TEXT
244	WHITE STUCCO, SMOOTH SAND FINISH
245	DARK GREY STUCCO, SMOOTH SAND FINISH
246	PHENOLIC WOOD PANEL, PRODEMA OR SIM.
247	FIBER CEMENT
248	VERTICAL BOARD FORMED CONCRETE
249	BLACK ANODIZED ALUMINUM CANOPY
250	BLACK ANODIZED STOREFRONT
251	BUTT GLAZED STOREFRONT
253	PREFINISHED METAL PANEL

REV	ISSUE	DATE
	ENTITLEMEN	5.5.22
	T	
1	PLANNING	6.6.22
	RESUBMITTA	
	L 1	

STAMP

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

BLD 2 (LOT 5)
ELEVATIONS

SHEET TITLE:
SCALE: As indicated
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42

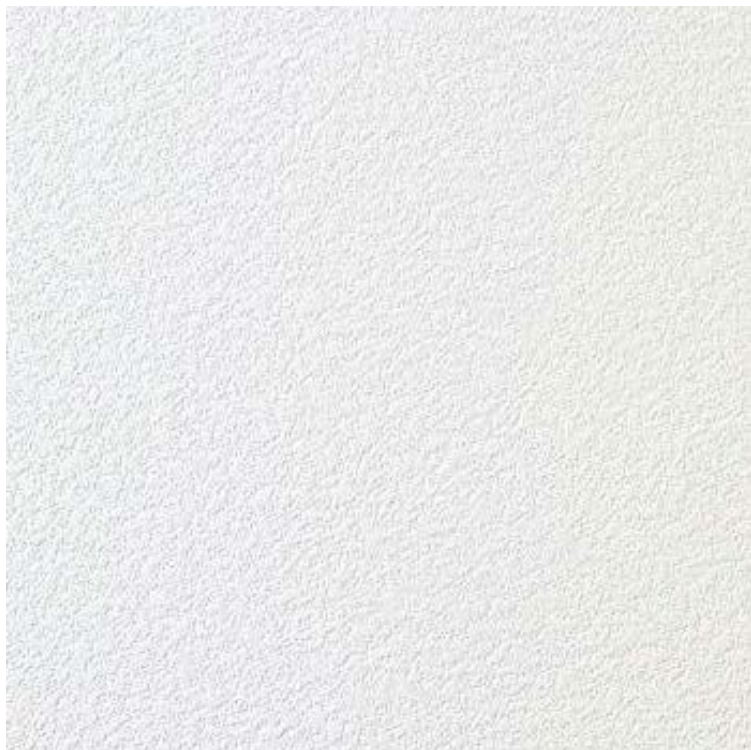
9/10/2024 4:02:38 PM



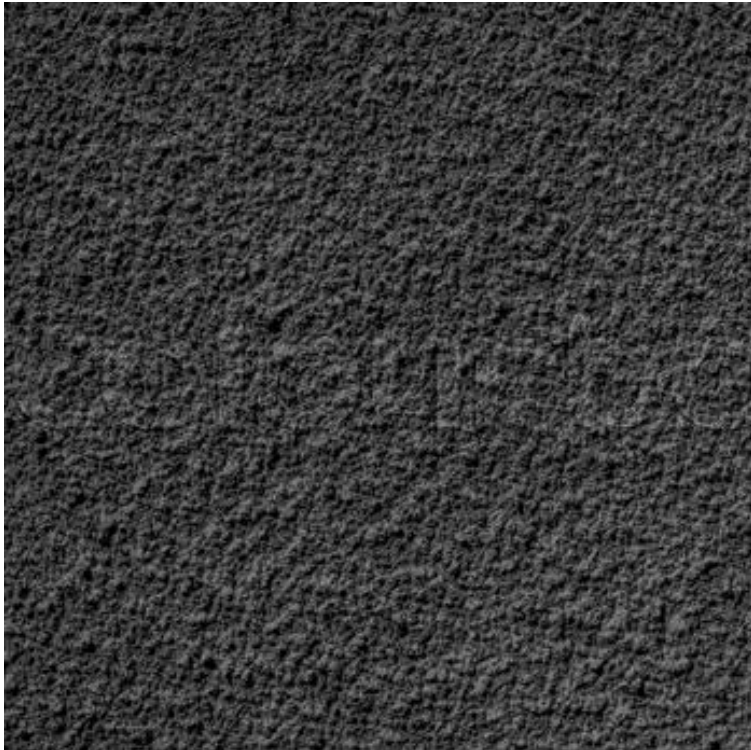
METAL PANEL, DRY DESIGN OR SIM.



PHENOLIC WOOD PANEL, PRODEMA OR SIM.



WHITE STUCCO, SMOOTH SAND FINISH



DARK GREY STUCCO, SMOOTH SAND FINISH



BLACK ANODIZED ALUMINUM CANOPY



GLASS RAIL



BUTT GLAZED STOREFRONT



BLACK ANODIZED STOREFRONT



FIBER CEMENT/HARDIE PANEL



VERTICAL BOARD FORMED CONCRETE

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

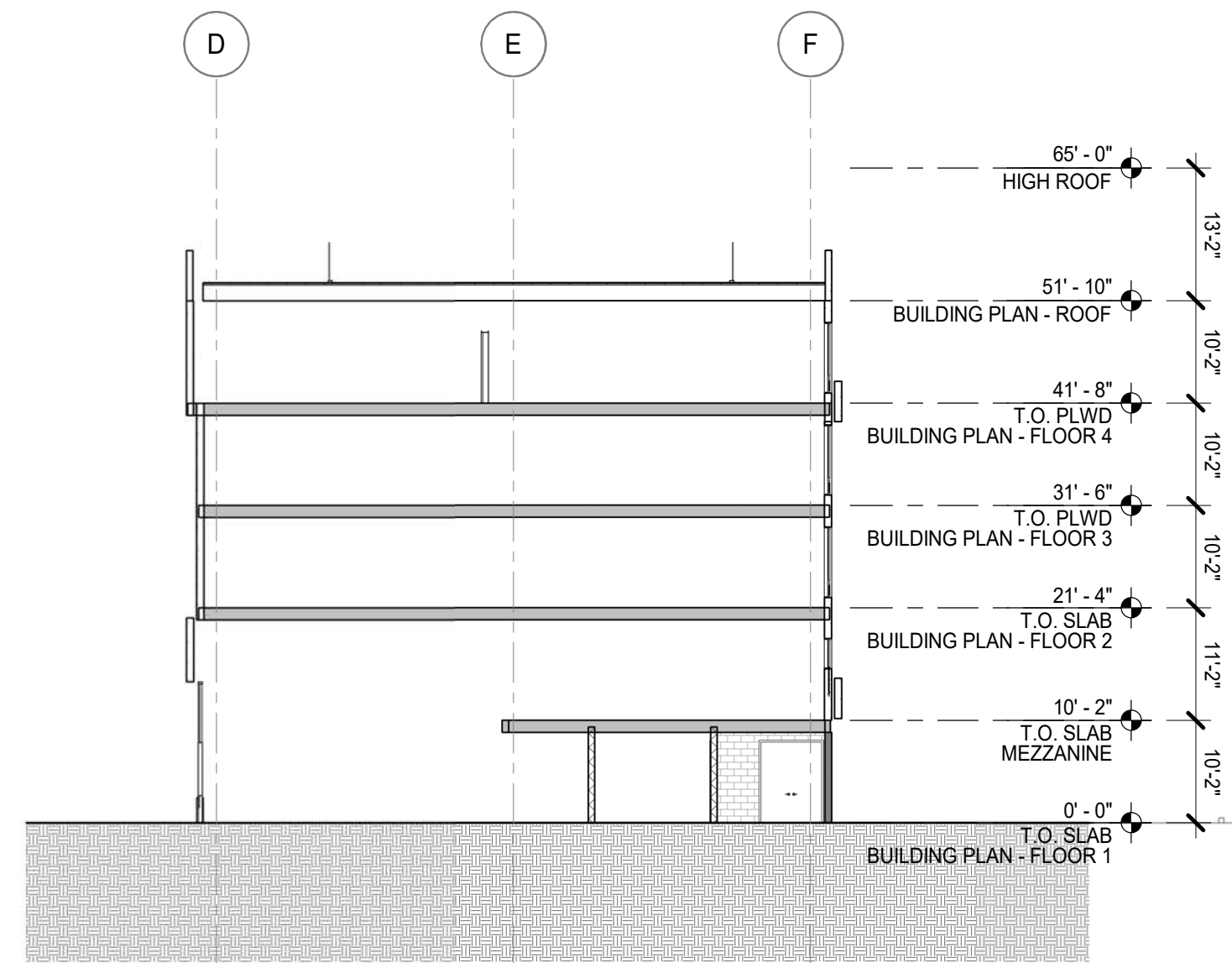
REV	ISSUE	DATE
	ENTITLEMEN T	5.5.22
1	PLANNING RESUBMITTA L 1	6.6.22

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

**MATERIAL
BOARD**

SHEET TITLE:
SCALE:
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42

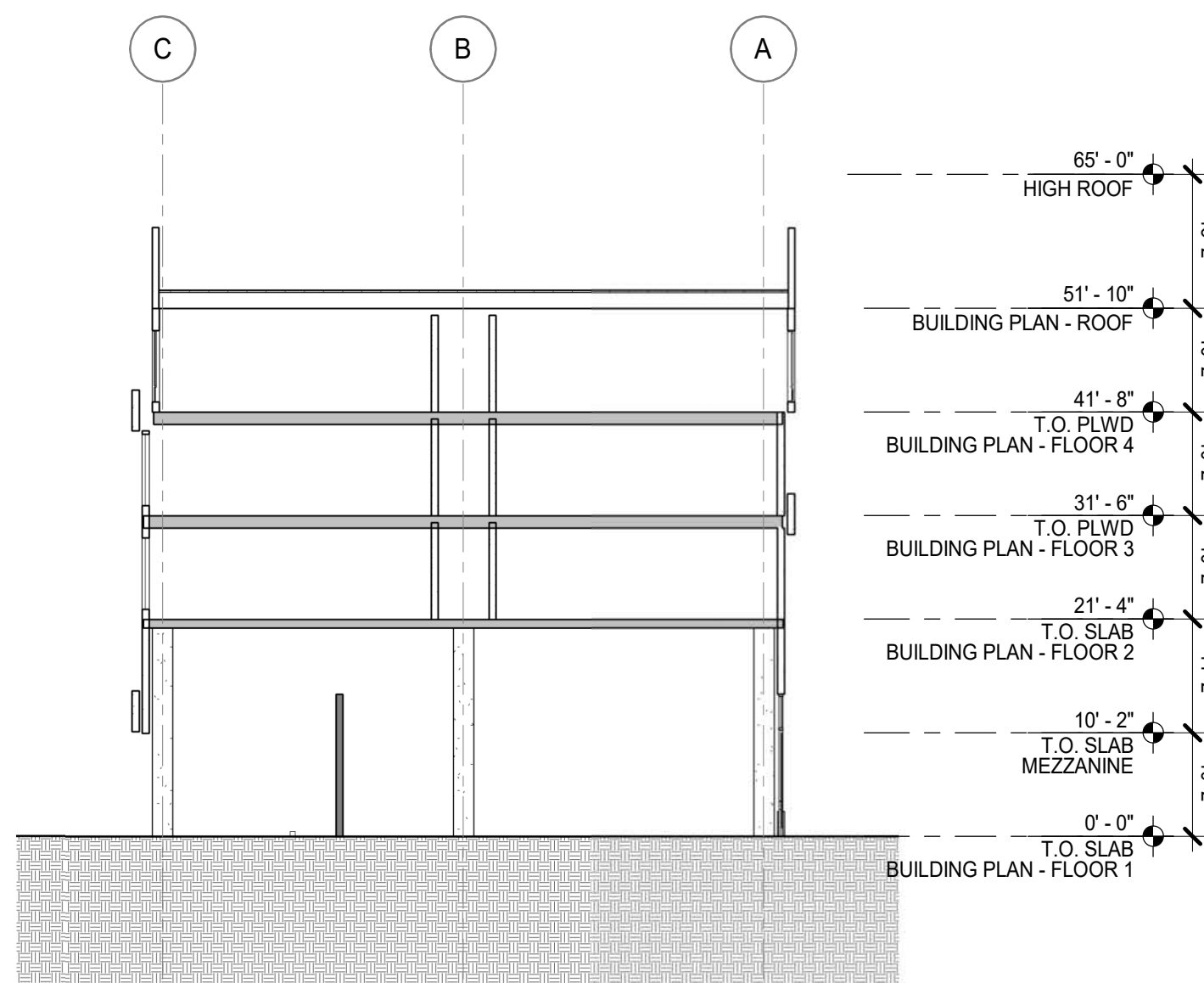
9/10/2022 4:03:00 PM



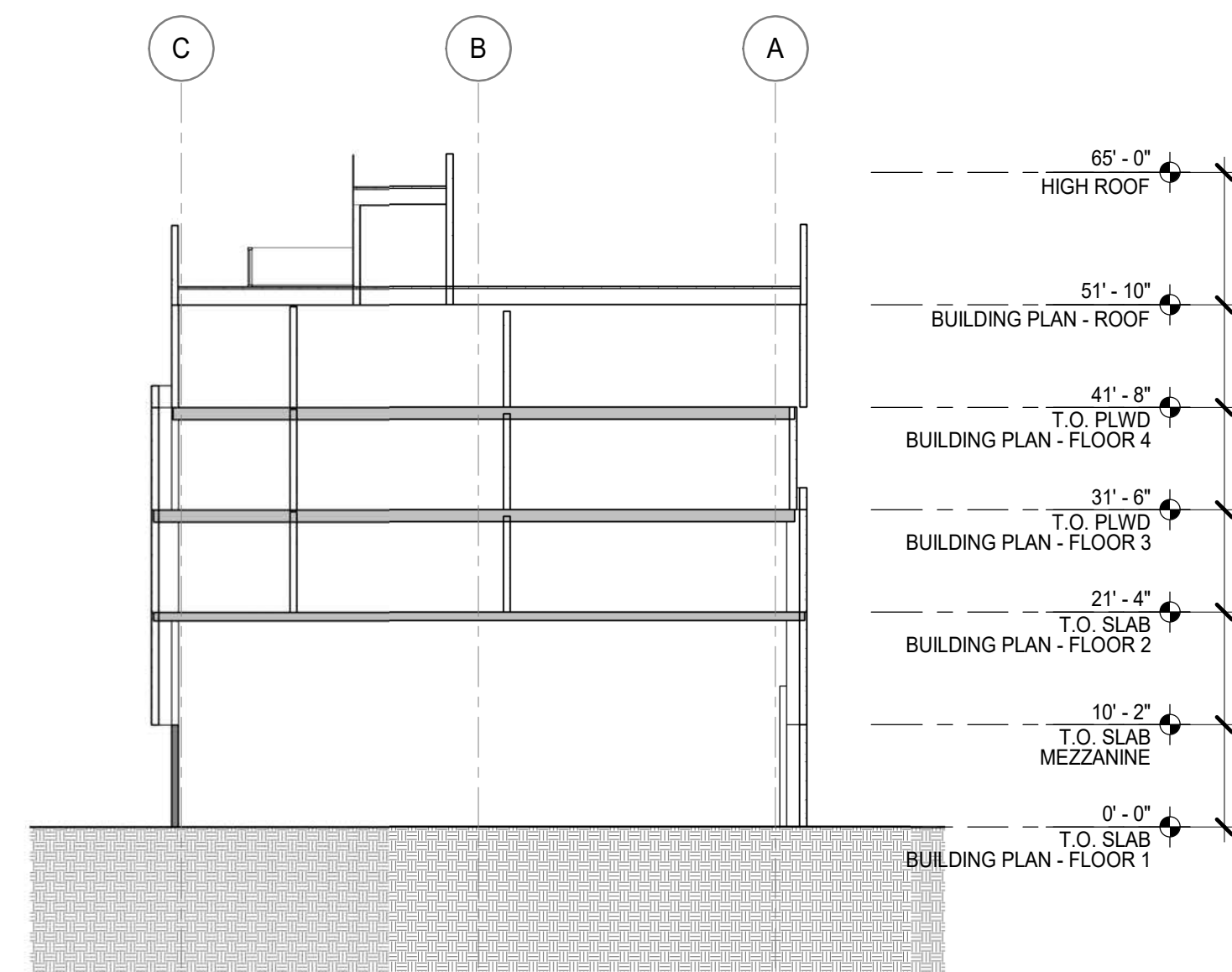
BUILDING 2 SECTION NORTH SOUTH_1 5
1/16" = 1'-0"



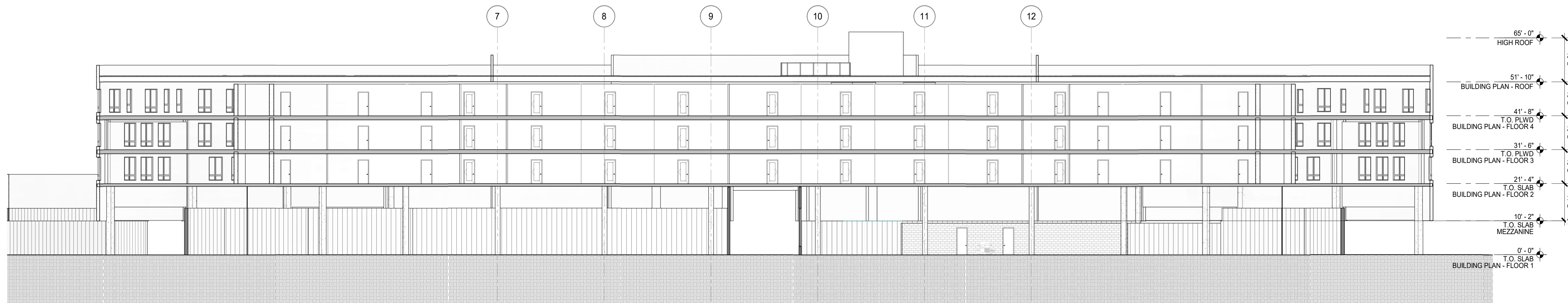
BUILDING 2 SECTION EAST WEST 4
1/16" = 1'-0"



BUILDING 1 SECTION NORTH SOUTH 3
1/16" = 1'-0"



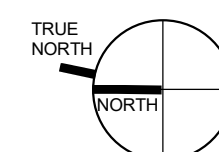
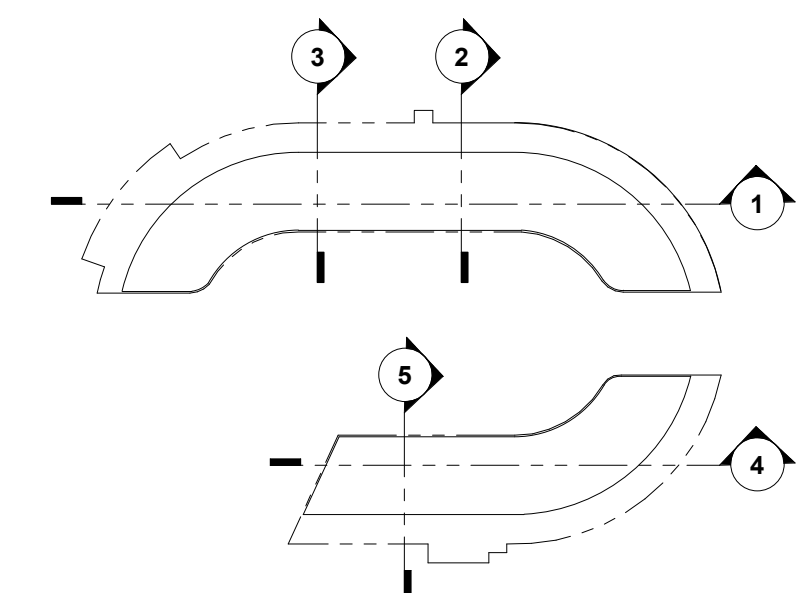
BUILDING 1 SECTION - NORTH SOUTH 2
1/16" = 1'-0"



BUILDING 1 SECTION- EAST WEST 1
1/16" = 1'-0"

GENERAL NOTES

- DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- SITE ELEVATION HEIGHT OF 115.5' = 0'-0" DATUM.
- SEE A0.2 FOR ACCESSIBILITY AND ADAPTABILITY REQUIREMENTS.
- SEE SHEET A10.0 FOR WALL TYPE SCHEDULE AND TYPICAL ASSEMBLIES.
- SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS. REFER TO 1/4" STAIR DRAWINGS FOR INFORMATION NOT SHOWN HERE.
- G.C. SHALL COORDINATE PLUMBING & MECHANICAL VENTS TO MINIMIZE ROOF PENETRATIONS AS PERMITTED BY CBC.
- G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS ARE SHOWN DIAGRAMMATICALLY ON ROOF PLANS AND MAY EXCEED 3/8"FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2408 AND AS REQUIRED BY CHAPTER 7.
- G.C. SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
- THRESHOLDS MUST BE ADA COMPLIANT AT ALL INTERIOR AND EXTERIOR DOORS.
- CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND ADA COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND ADA SHOWERS SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE G.C. SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD AND ARE EXPECTED TO ADD TO THE GMP THESE REQUIREMENTS AND COSTS.
- THE G.C. SHALL INCLUDE IN THE GMP THE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALL BOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
- G.C. TO COORDINATE AND VERIFY ELEVATION OF TOP OF SLAB. GC TO PLACE CONCRETE STEP SUCH THAT FINISH SIDEWALK IS LEVEL W/ T.O.S.
- ALL WINDOWS SHALL BE DOUBLE PANE INSULATING GLASS FILLED WITH ARGON GAS & HAVE A LOW-E COATING. SEE SHEET A10.40 FOR WINDOW SCHEDULE.
- ADDRESS SIGNAGE ON BUILDING ELEVATION ARE TO BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. EACH CHARACTER SHALL BE A MINIMUM OF 4" HIGH AND A MINIMUM OF 1/2" WIDE, INSTALLED ON A CONTRASTING BACKGROUND PER CBC 501.2



REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L 1	

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

SECTIONS

SHEET TITLE:
SCALE: As indicated
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L 1	

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

**PERSPECTIVE
RENDERINGS**

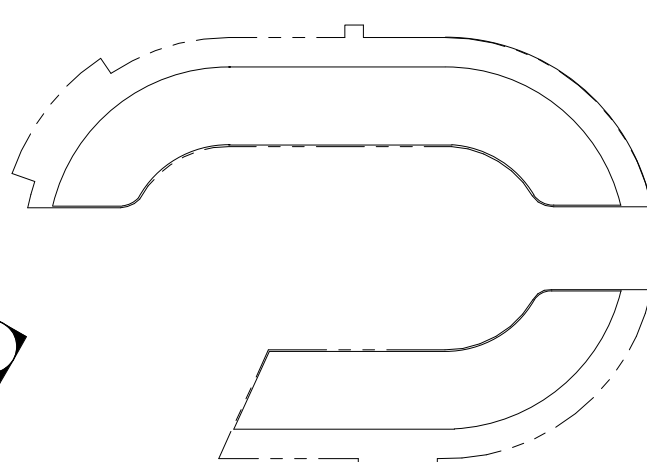
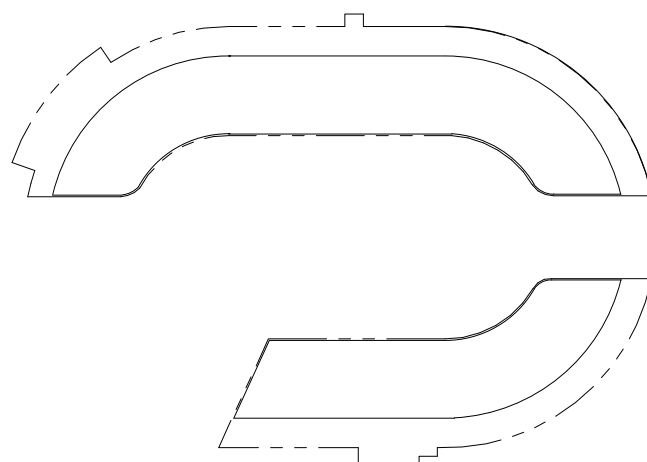
SHEET TITLE:
SCALE:
PROJ.# 2110 DRAWN BY: XX
SHEET SIZE: 30 x 42



PERSPECTIVE BUILDING 1 (LOT 6 & BUIDLING 2 (LOT 2) - SOUTH SITE ENTRY 2

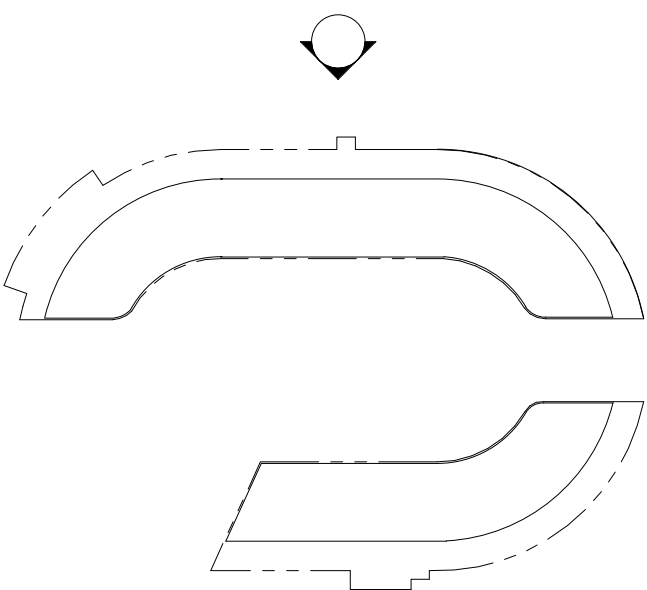


PERSPECTIVE BUILDING 1 (LOT 6 & BUIDLING 2 (LOT 2) - NORTH SITE ENTRY 1

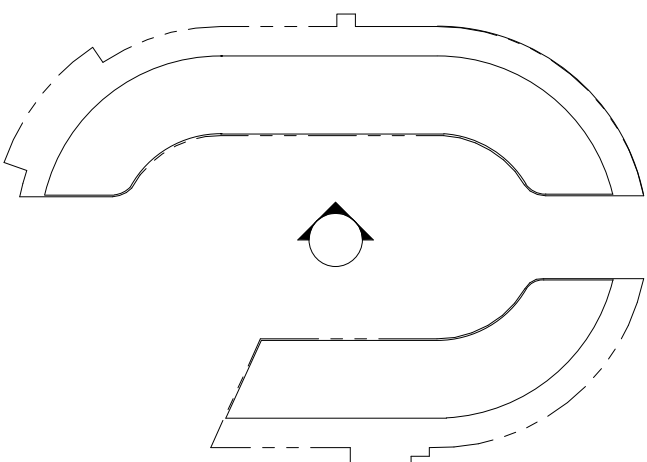




PERSPECTIVE - BUILDING 1 (LOT 6) ENTRY EAST 2



PERSPECTIVE - BUILDING 1 (LOT 6) ENTRY WEST 1



REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L 1	

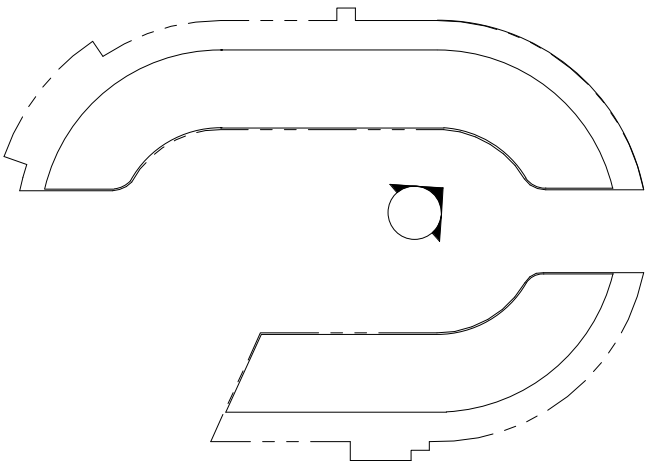
STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

**PERSPECTIVE
RENDERINGS**

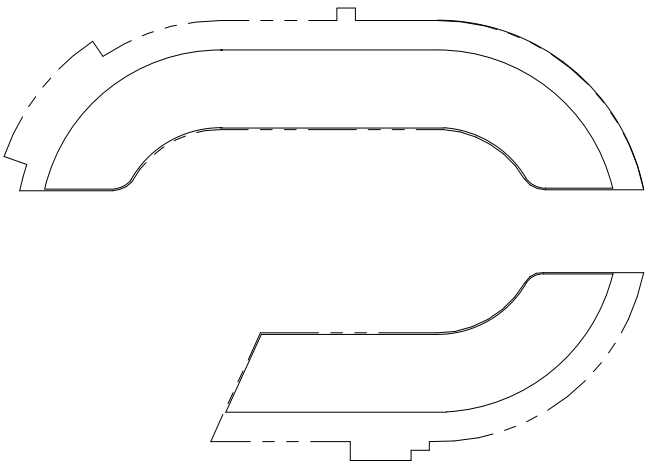
SHEET TITLE:
SCALE:
PROJ.# 2110 DRAWN BY Author
SHEET SIZE: 30 x 42



PERSPECTIVE - BUILDING 1 (LOT 6) STOREFRONT & W/L 2



PERSPECTIVE - BUILDING 2 (LOT 5) ENTRY WEST 1



500 HOPPER
500 HOPPER STREET
PETALUMA, CA

REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	L 1

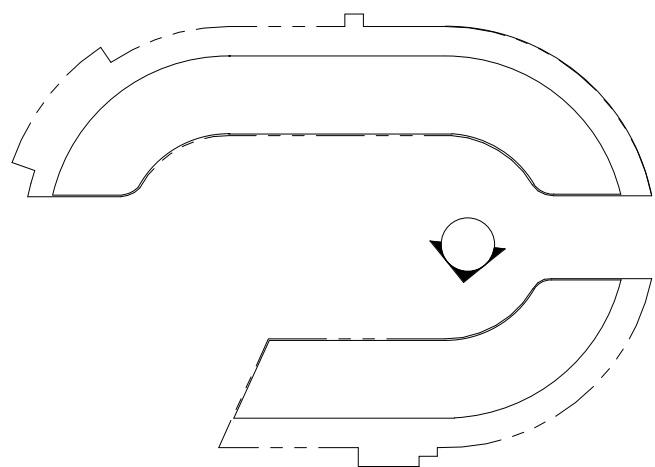
STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREON CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

**PERSPECTIVE
RENDERINGS**

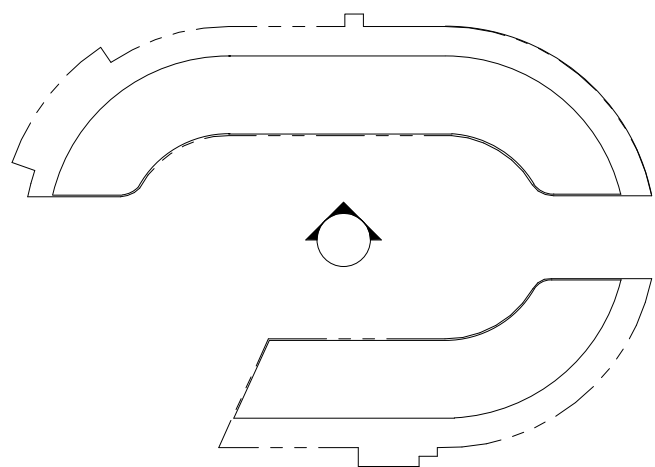
SHEET TITLE:
SCALE:
PROJ.# 2110 DRAWN BY: Author
SHEET SIZE: 30 x 42



PERSPECTIVE - BUILDING 2 (LOT 5) TOWNHOMES 2



PERSPECTIVE - BUILDING 2 (LOT 5) COURTYARD 1



500 HOPPER
500 HOPPER STREET
PETALUMA, CA

REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	L1

STAMP

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

PERSPECTIVE
RENDERINGS

SHEET TITLE:
SCALE:
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

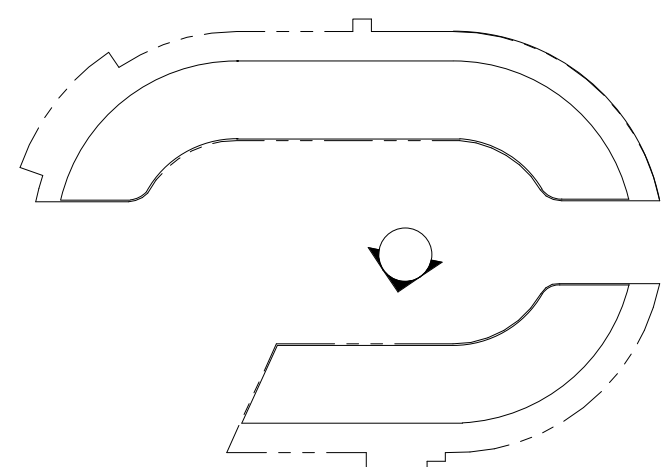
REV	ISSUE	DATE
	ENTITLEMEN T	5.5.22
1	PLANNING RESUBMITTA L 1	6.6.22

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

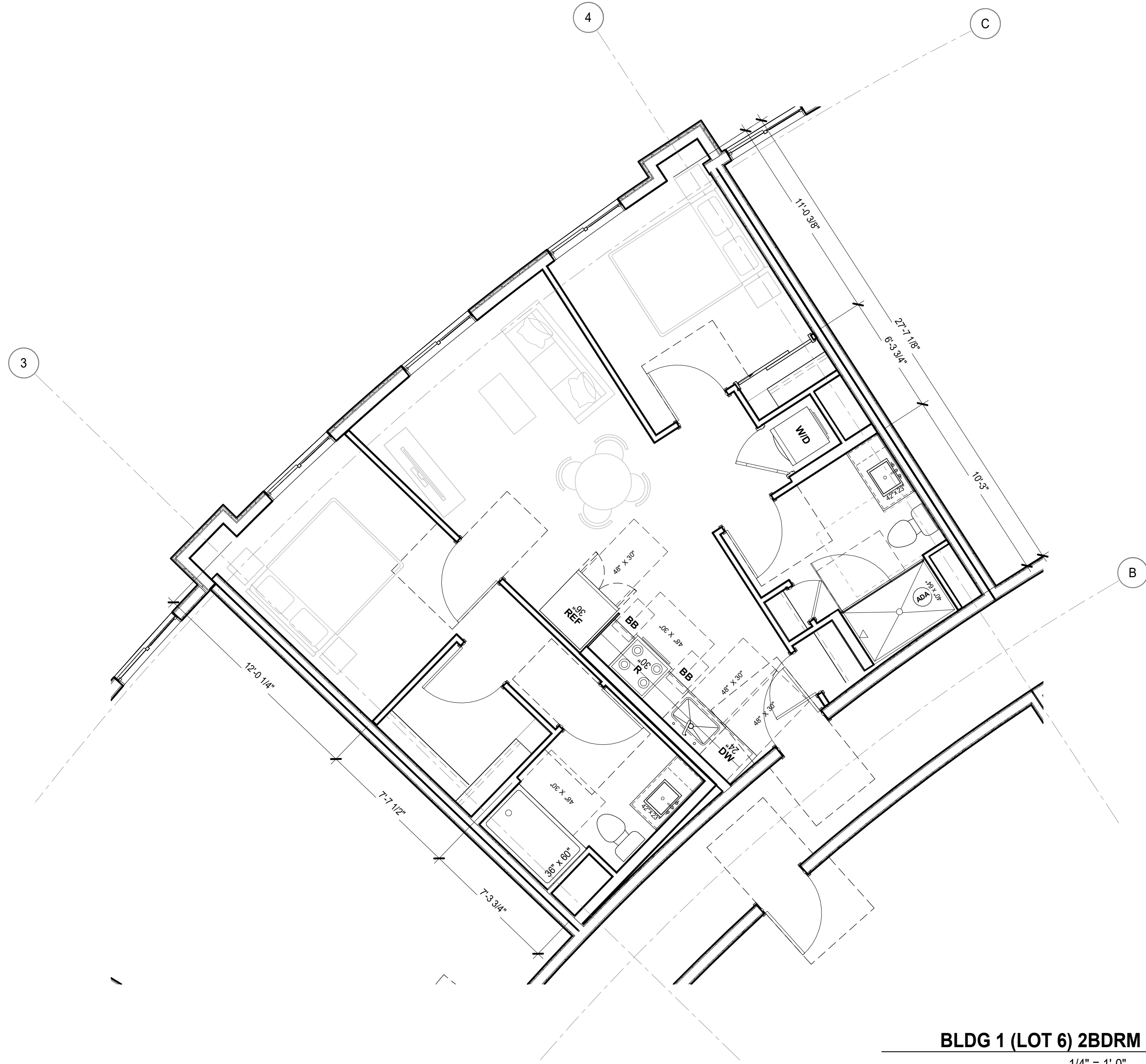
**PERSPECTIVE
RENDERINGS**

SHEET TITLE:
SCALE:
PROJ.# 2110 DRAWN BY: Author
SHEET SIZE: 30 x 42

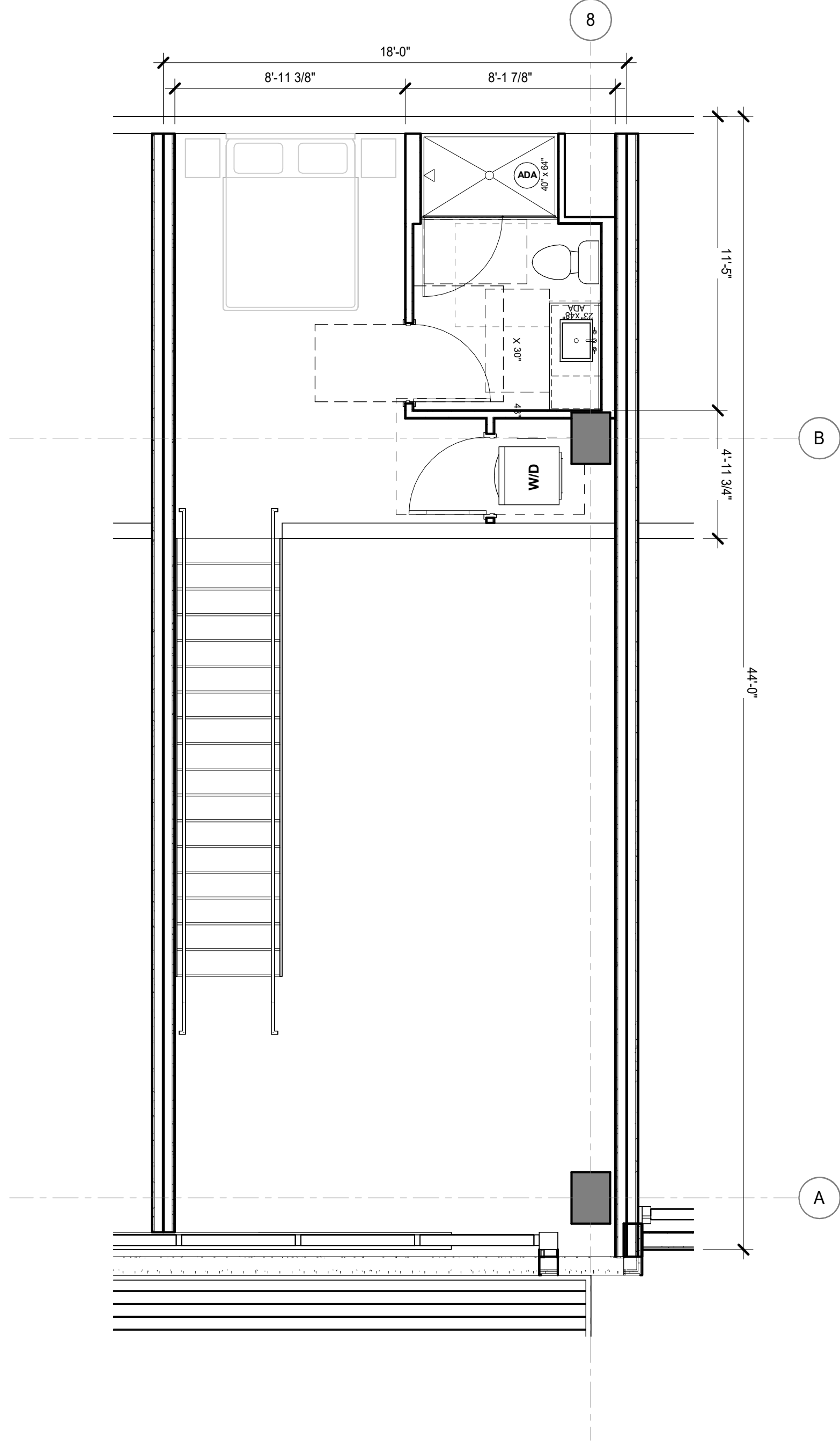
AP3.34



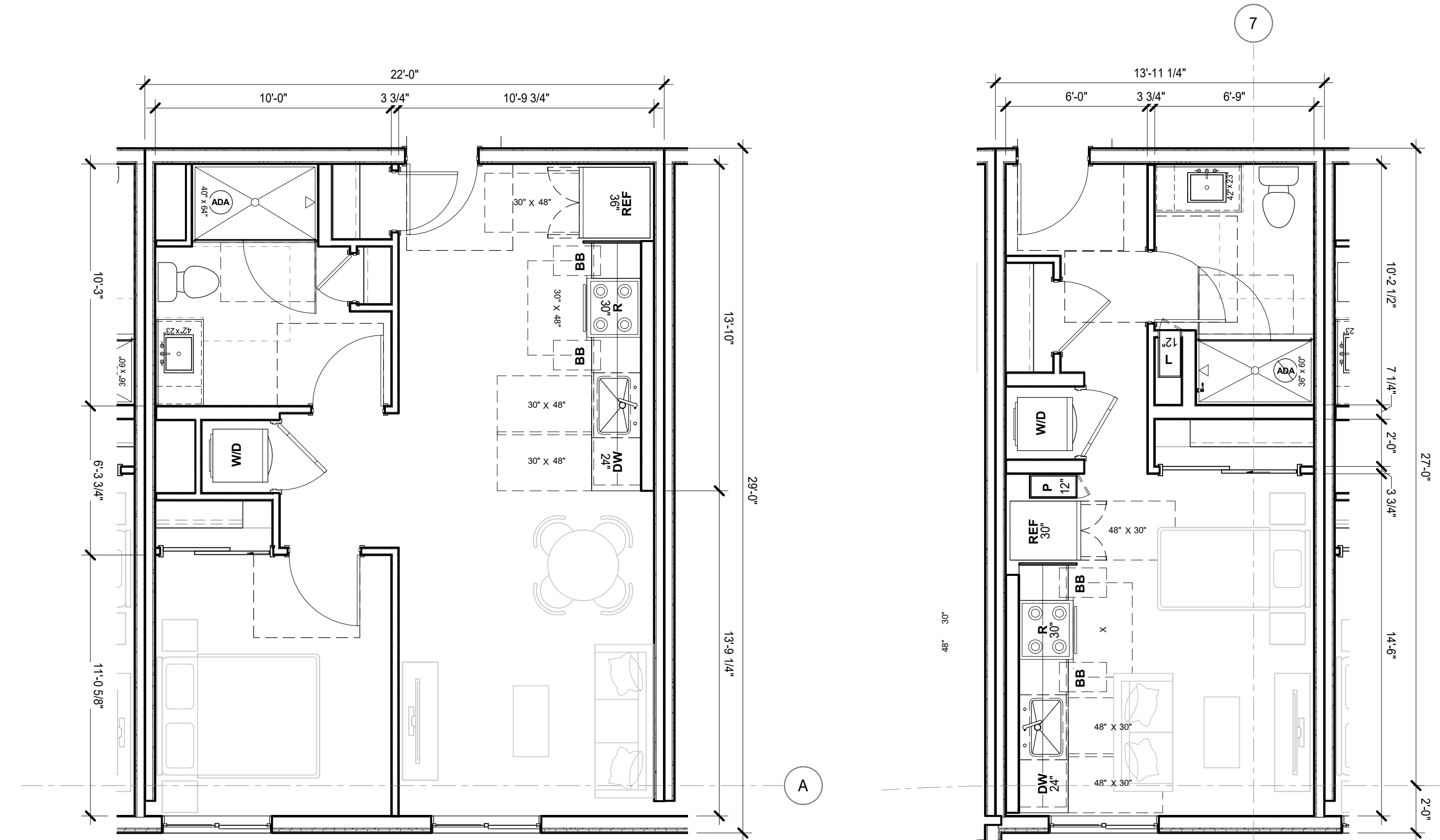
PERSPECTIVE - BUILDING 2 (LOT 5) EAST ENTRY 1



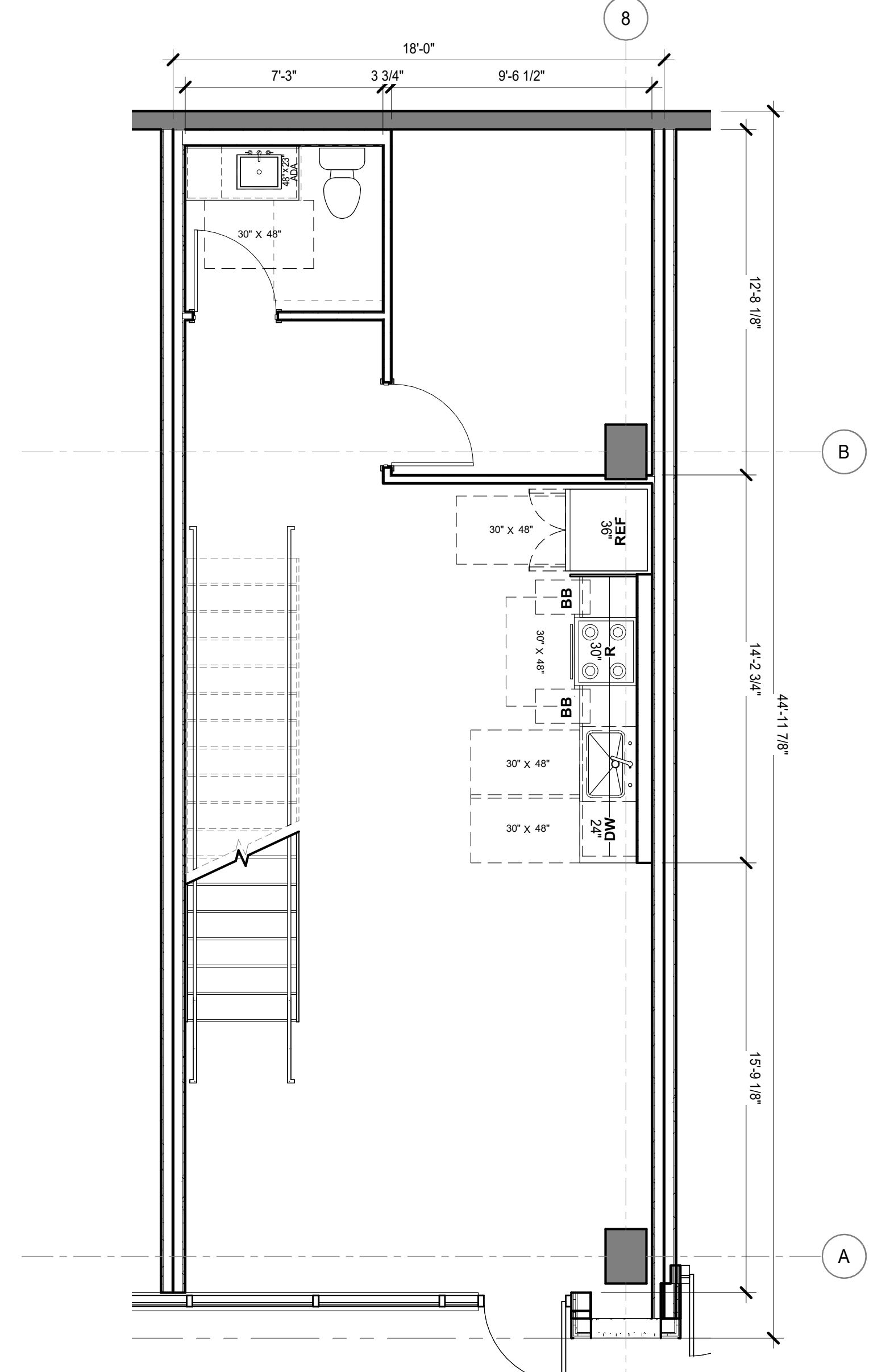
BLDG 1 (LOT 6) 2BDRM 5
1/4" = 1'-0"



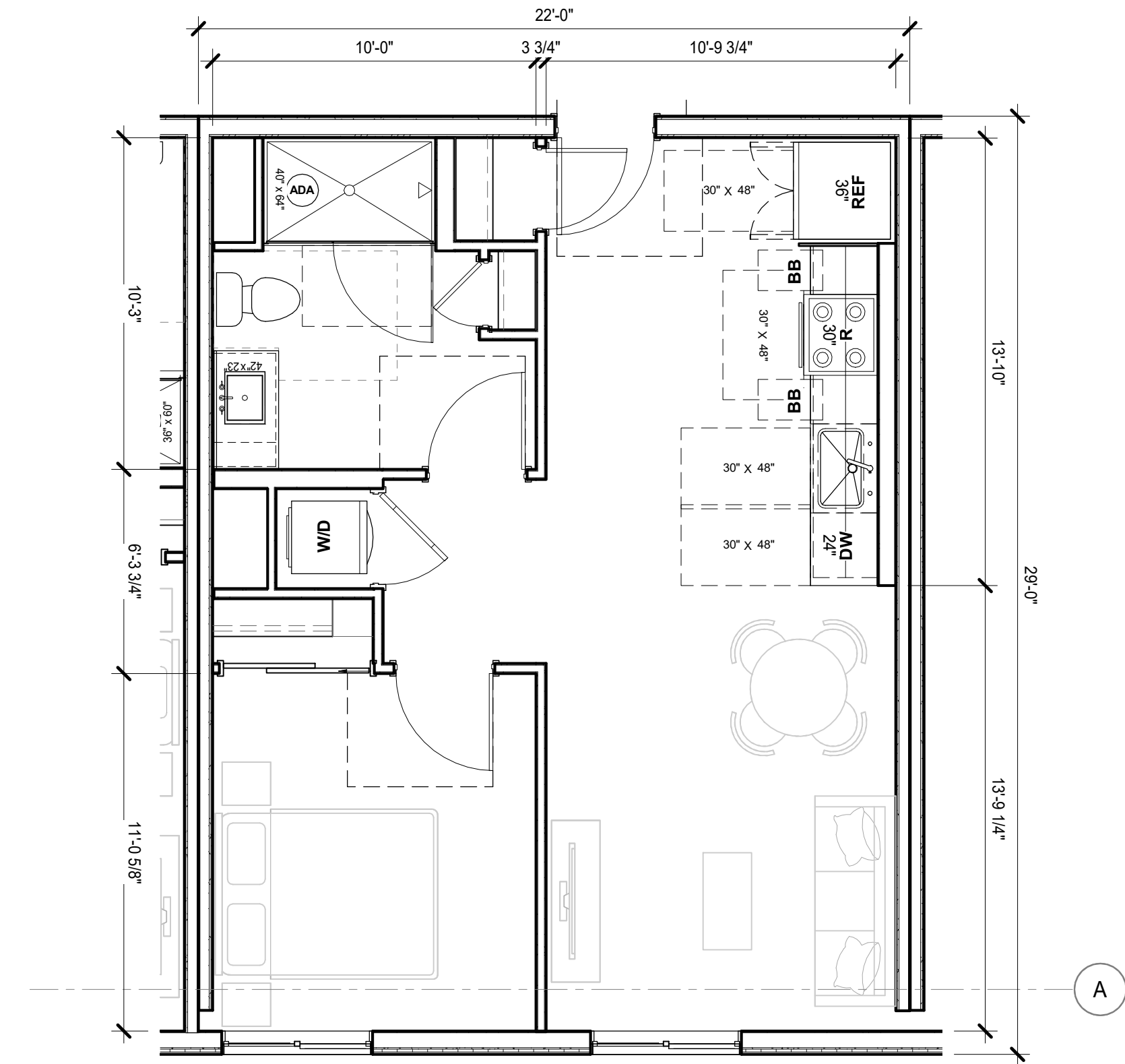
BLDG 1 (LOT 6) WORK/LIVE MEZZANINE 2
1/4" = 1'-0"



BLDG 1 (LOT 6) STUDIO 3
1/4" = 1'-0"



BLDG 1 (LOT 6) WORK/LIVE LEVEL 1 1
1/4" = 1'-0"



BLDG 1 (LOT 6) 1BDRM 4
1/4" = 1'-0"

REV	ISSUE	DATE
1	PLANNING RESUBMITTA L 1	6.6.22

STAMP

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

BLDG 1 (LOT 6)
UNIT PLANS

SHEET TITLE:	1/4" = 1'-0"
SCALE:	1/4" = 1'-0"
PROJ.#:	2110
DRAWN BY:	Author
SHEET SIZE:	30 x 42

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

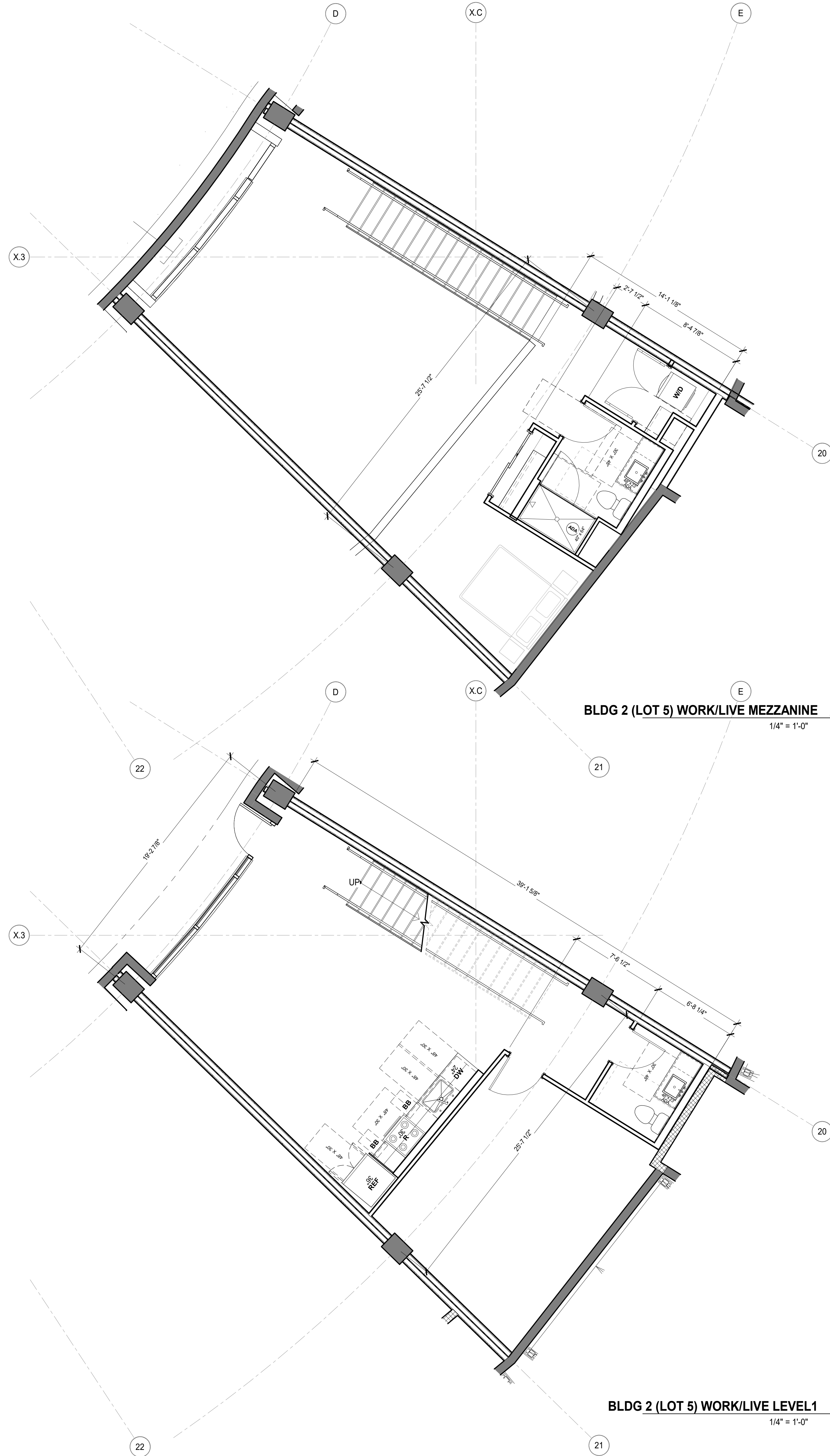
REV	ISSUE	DATE
1	PLANNING RESUBMITTA L1	6.6.22

STAMP

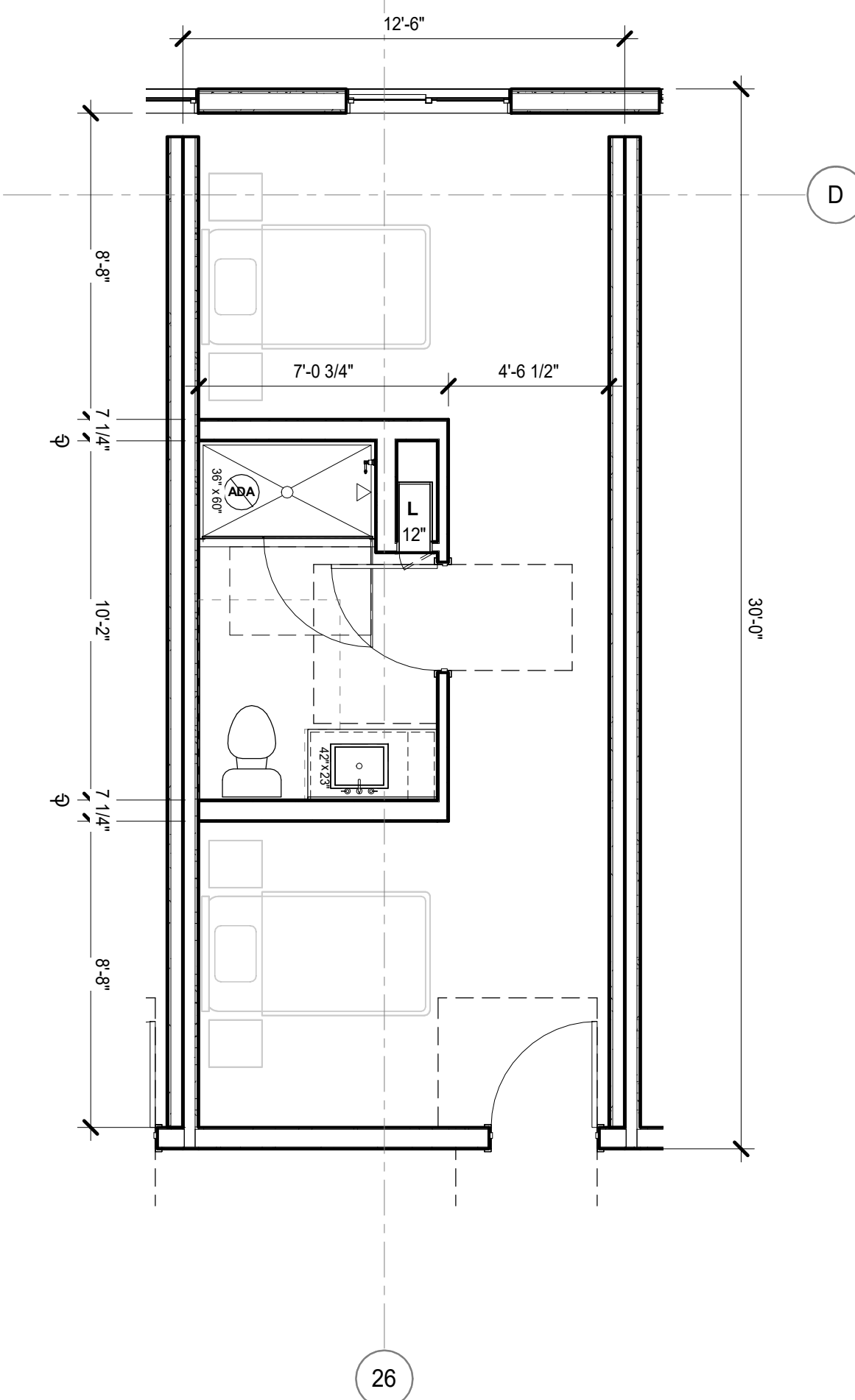
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

BLDG 2 (LOT 5)
UNITS PLANS

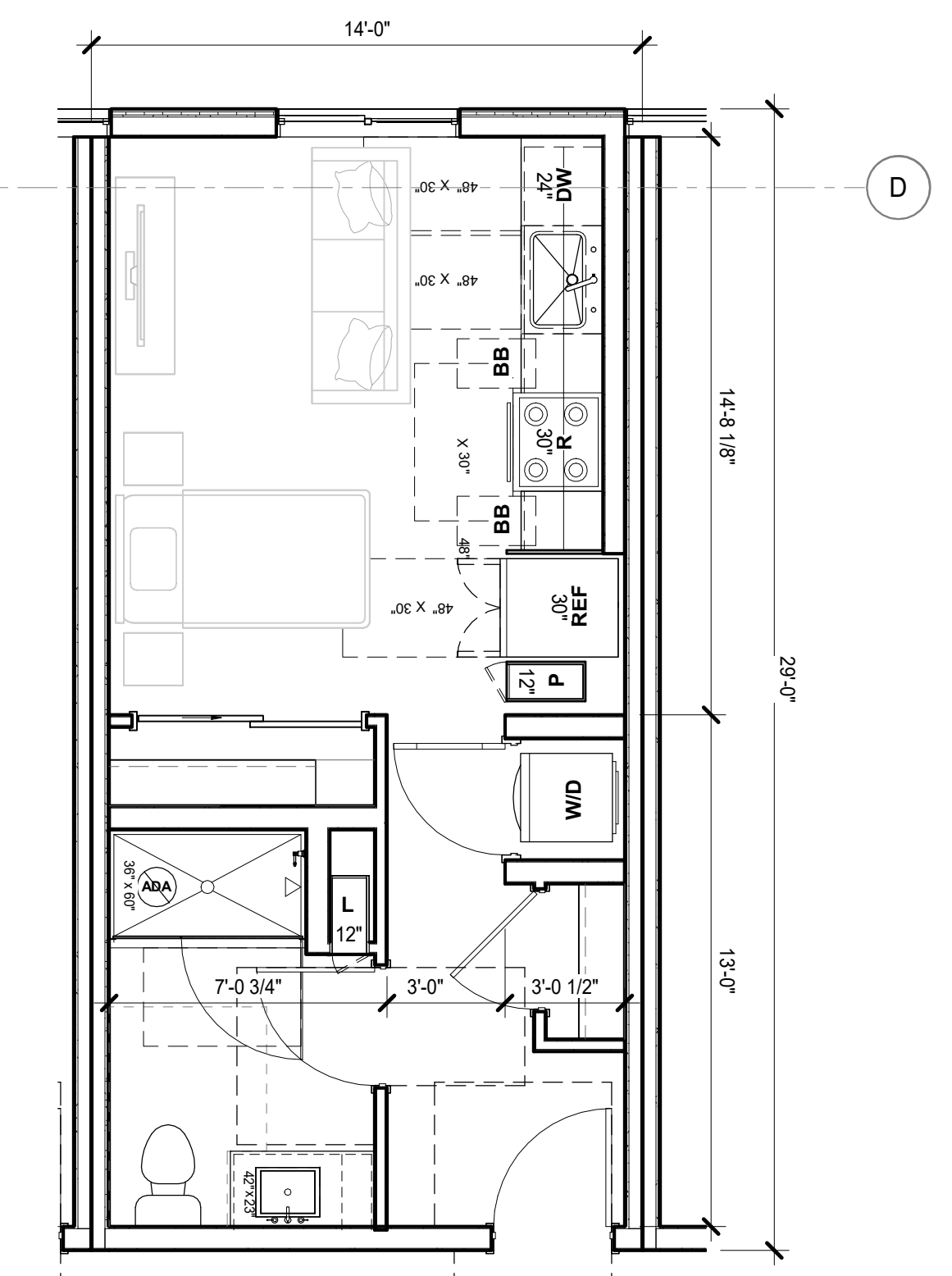
SHEET TITLE:	1/4" = 1'-0"
SCALE:	1/4" = 1'-0"
PROJ.#:	2110
DRAWN BY:	Author
SHEET SIZE:	30 x 42



BLDG 2 (LOT 5) WORK/LIVE MEZZANINE 2
1/4" = 1'-0"



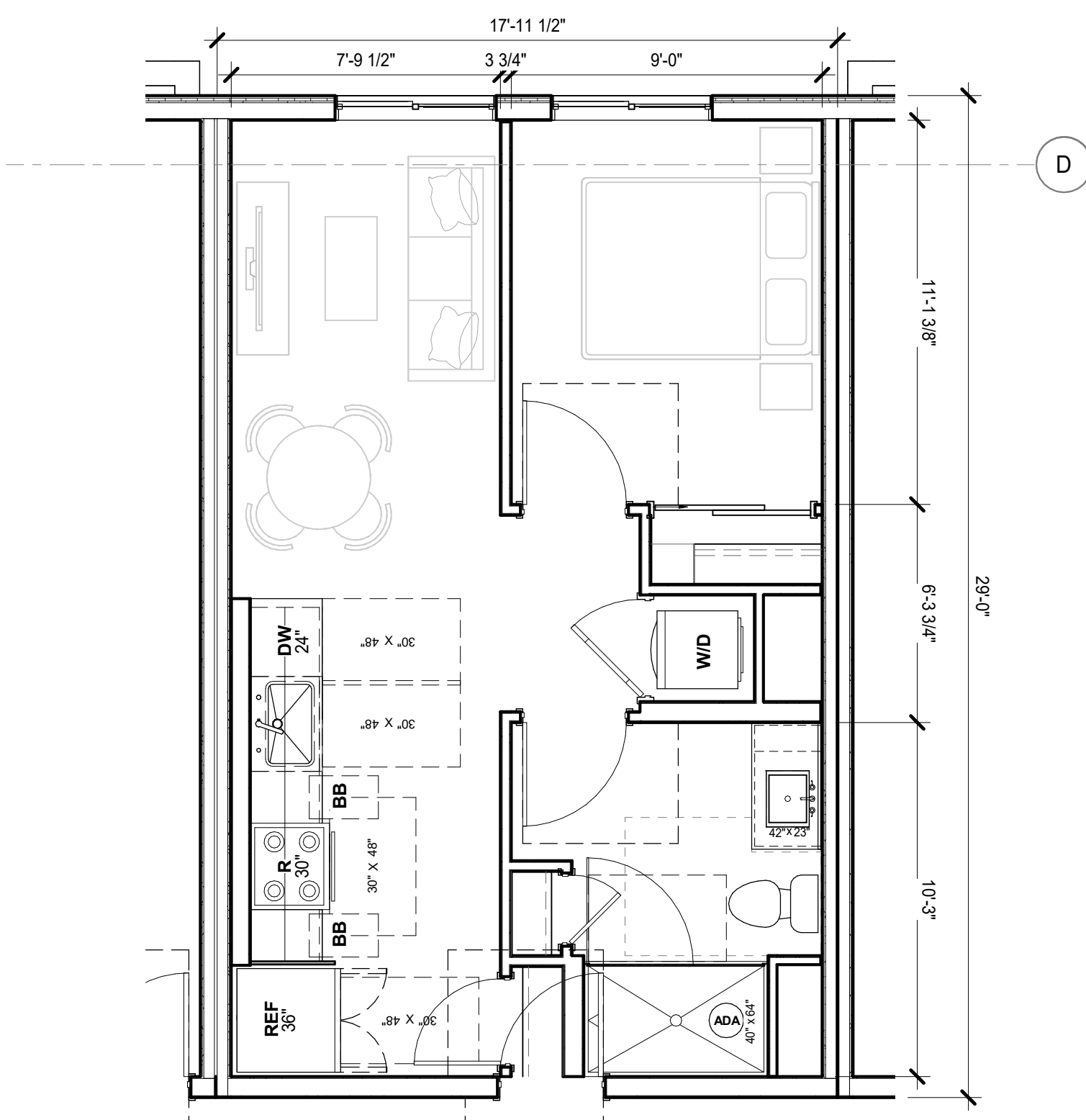
BLDG 2 (LOT 5) MEMORY CARE 5
1/4" = 1'-0"



BLDG 2 (LOT 5) STUDIO 3
1/4" = 1'-0"

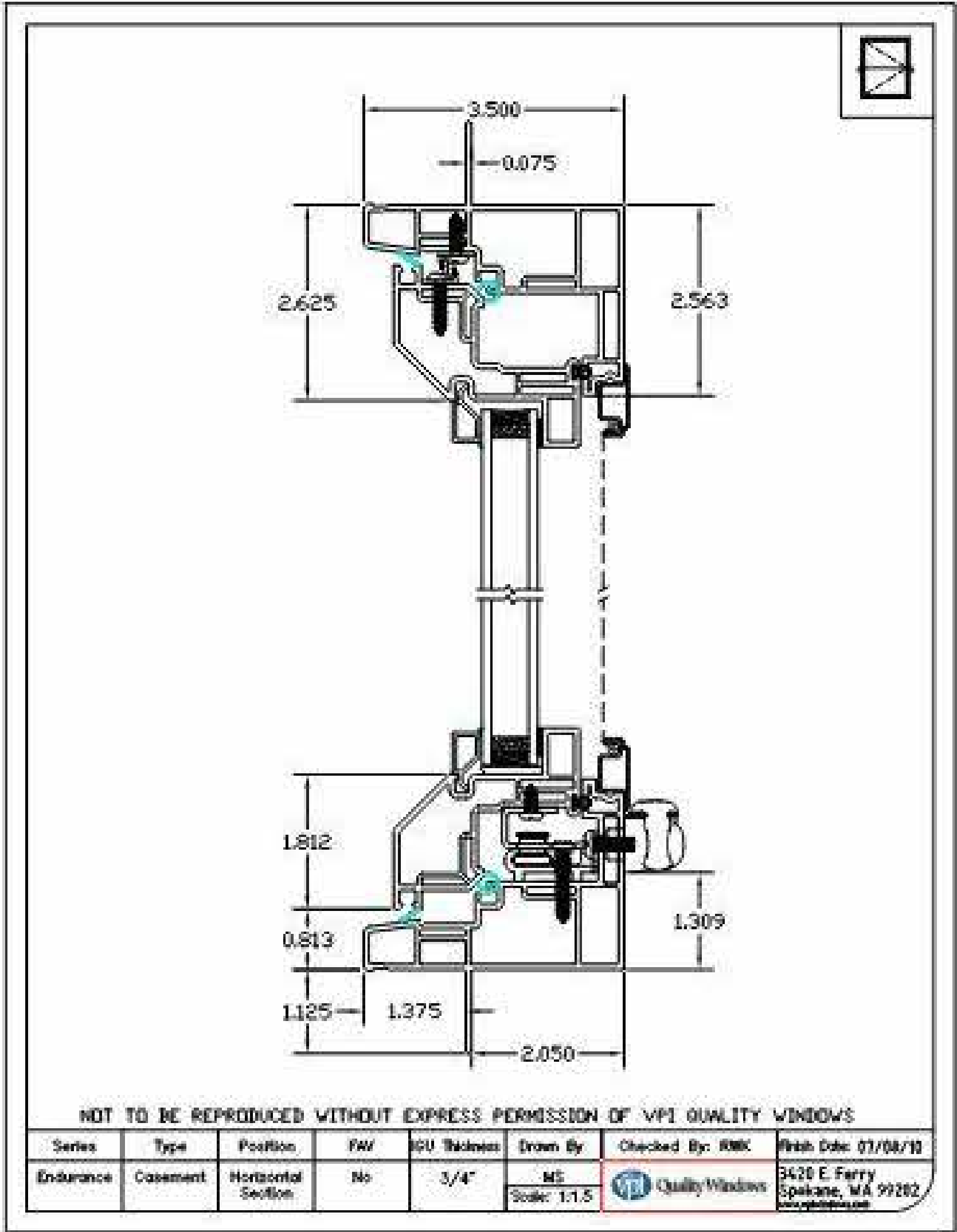
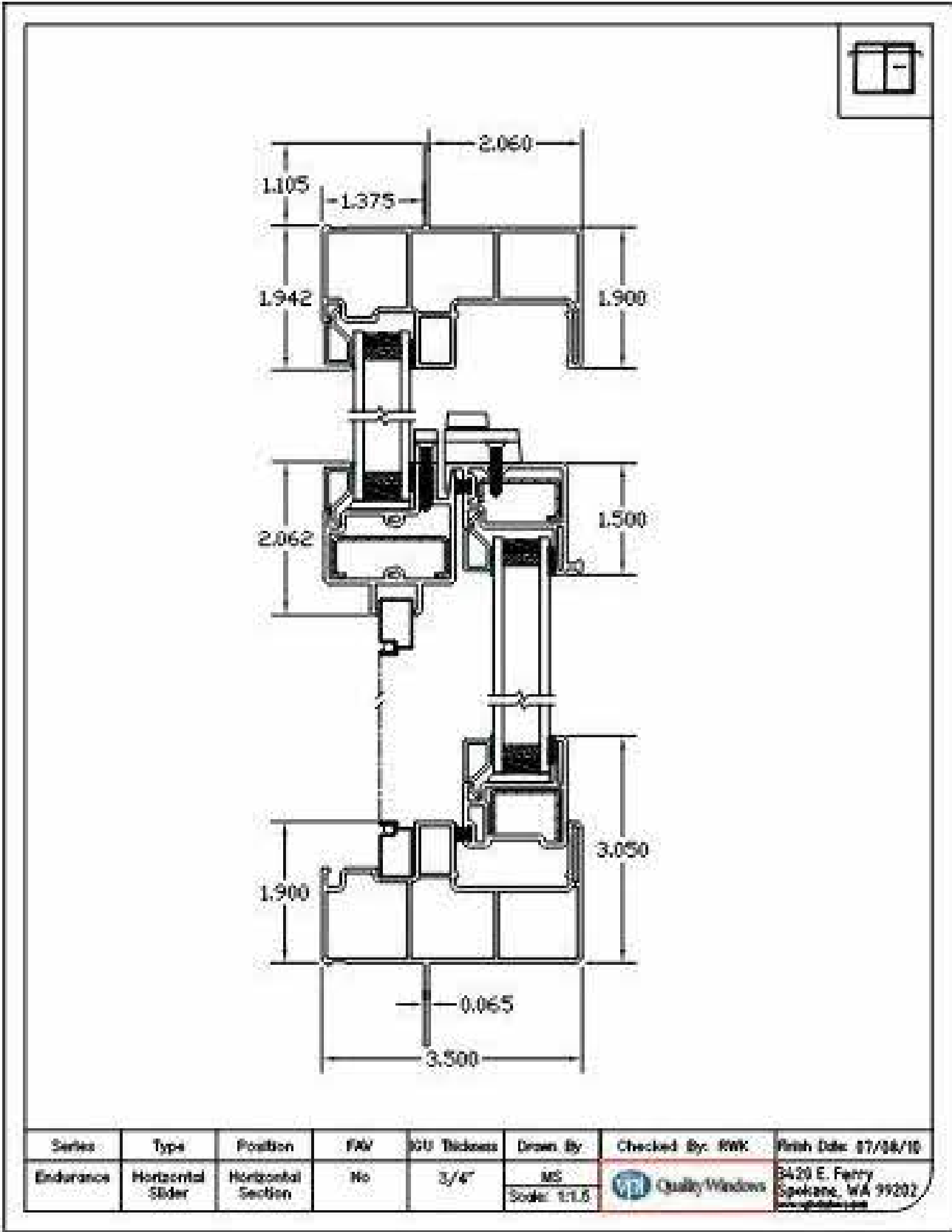
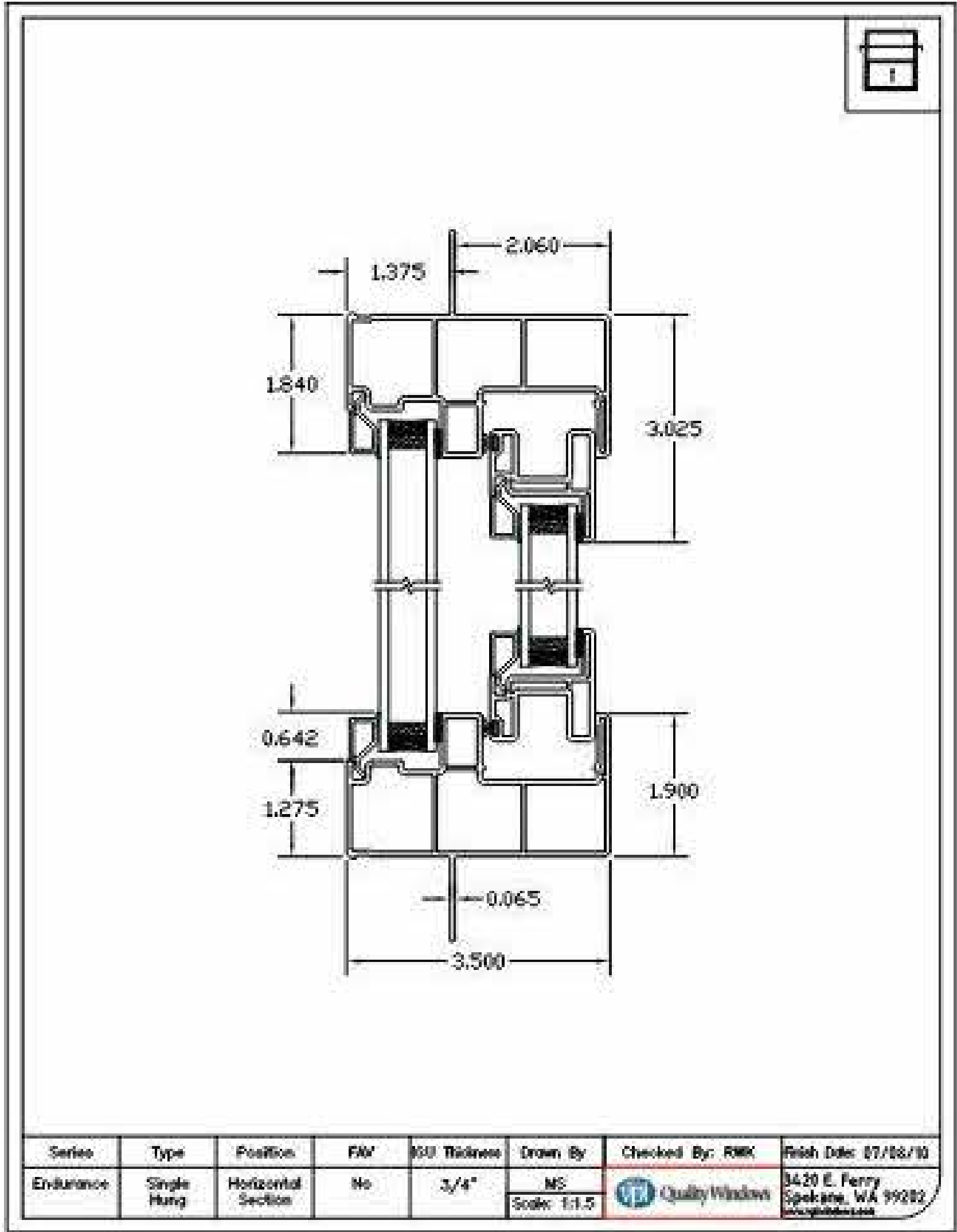
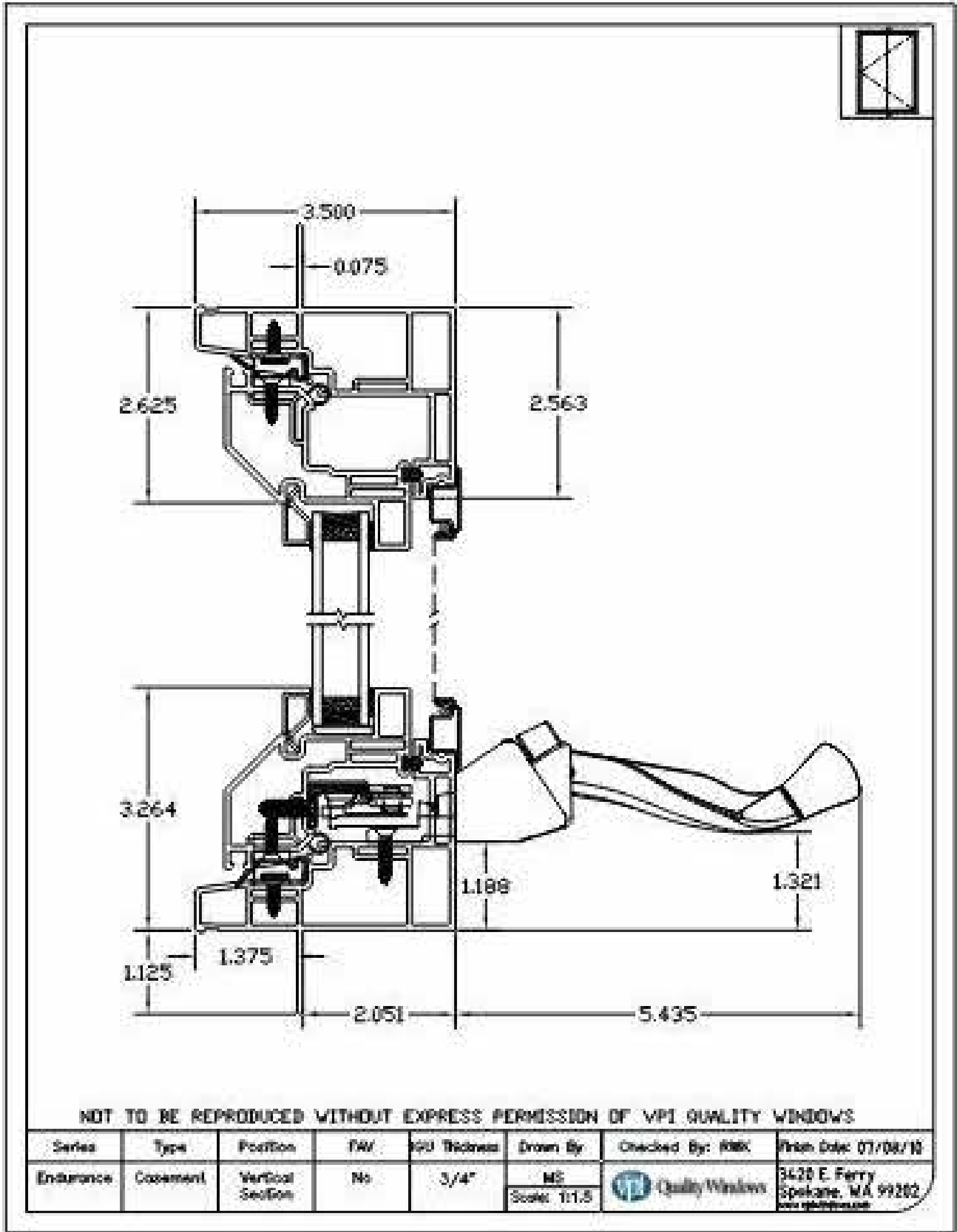
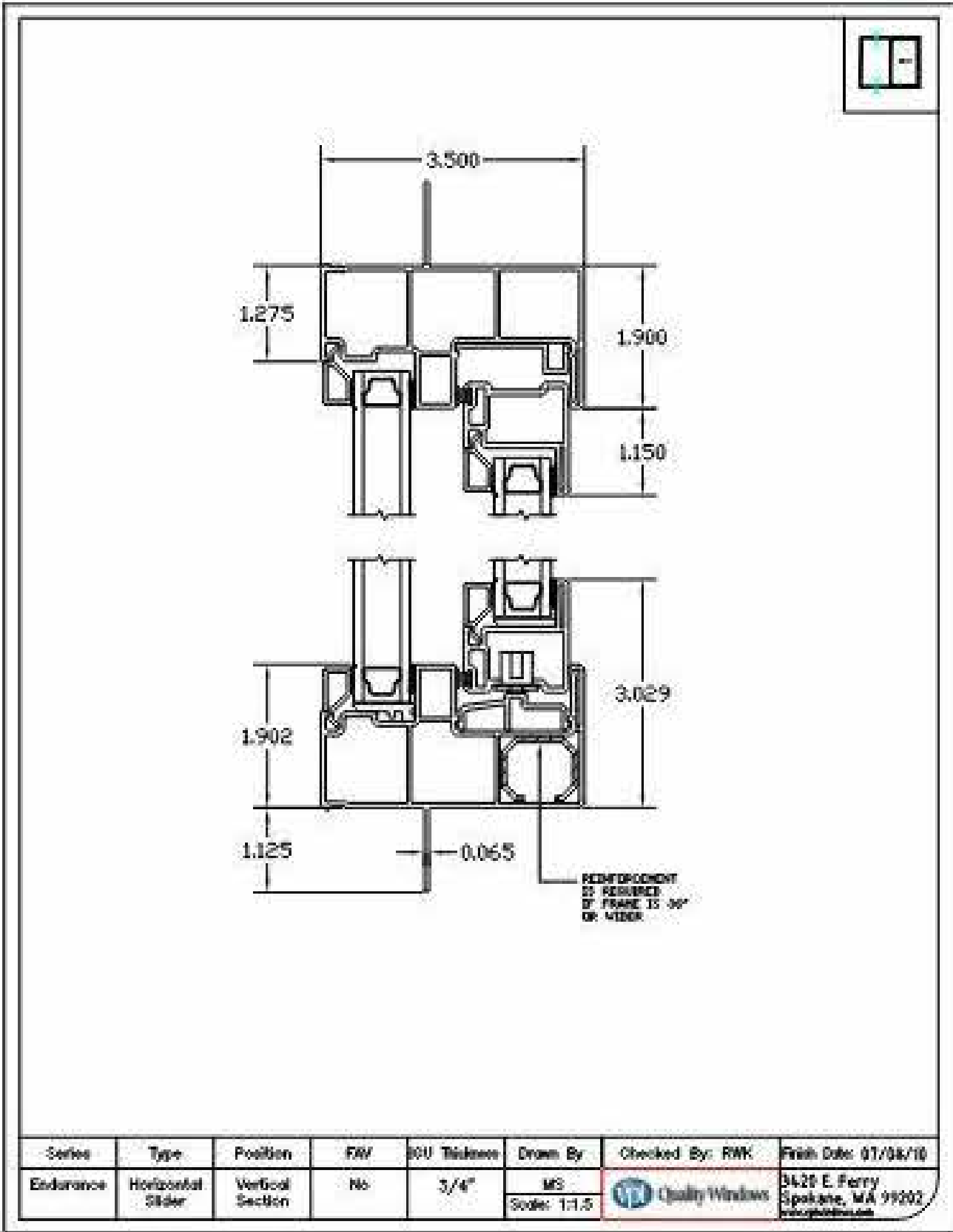
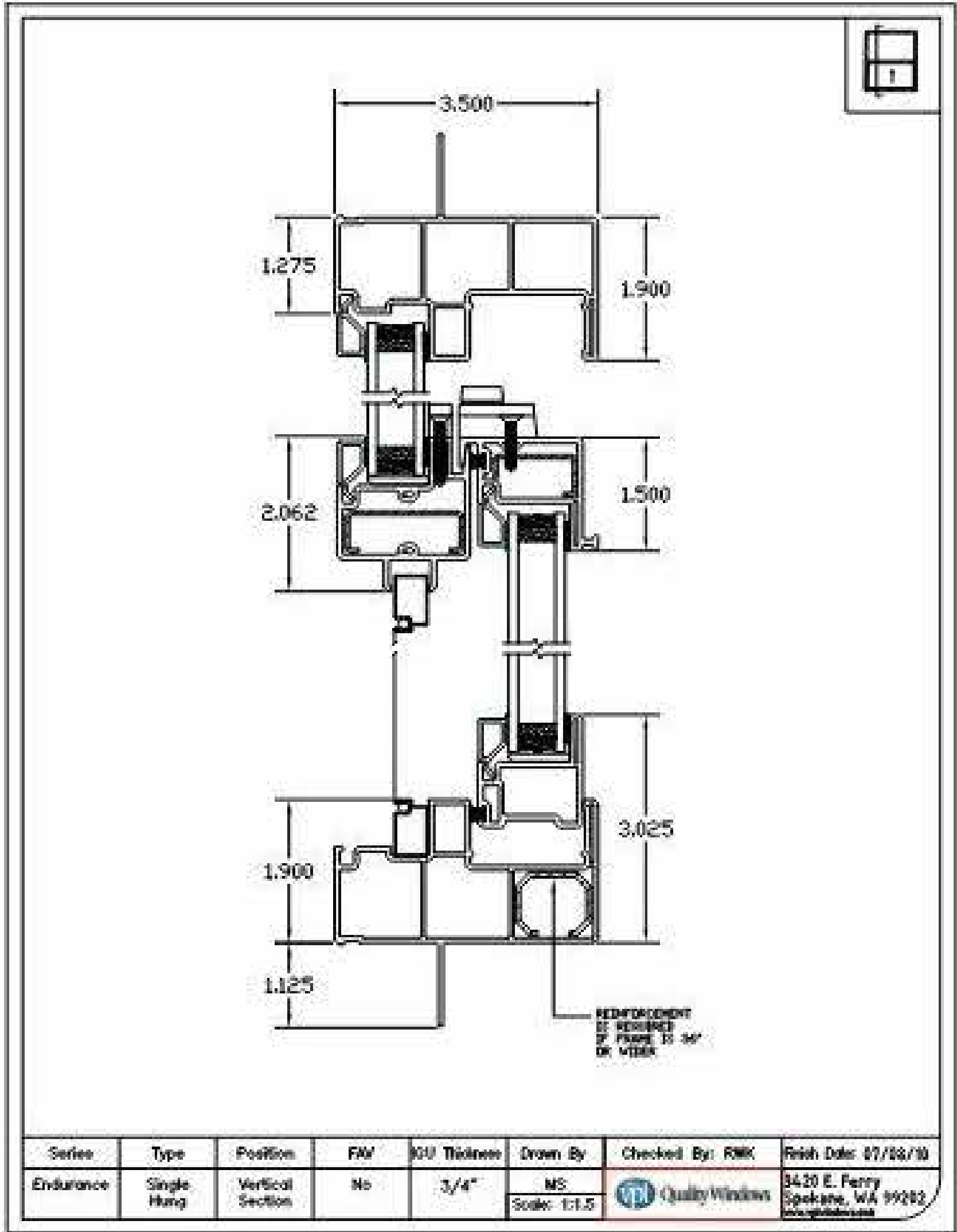


BLDG 2 (LOT 5) 2BDRM 6
1/4" = 1'-0"



BLDG 2 (LOT 5) 1BDRM 4
1/4" = 1'-0"

9/10/2024 1:05:51 PM



REV	ISSUE	DATE
T	ENTITLEMENT	5.5.22
1	PLANNING RESUBMITTAL	6.6.22
L1		

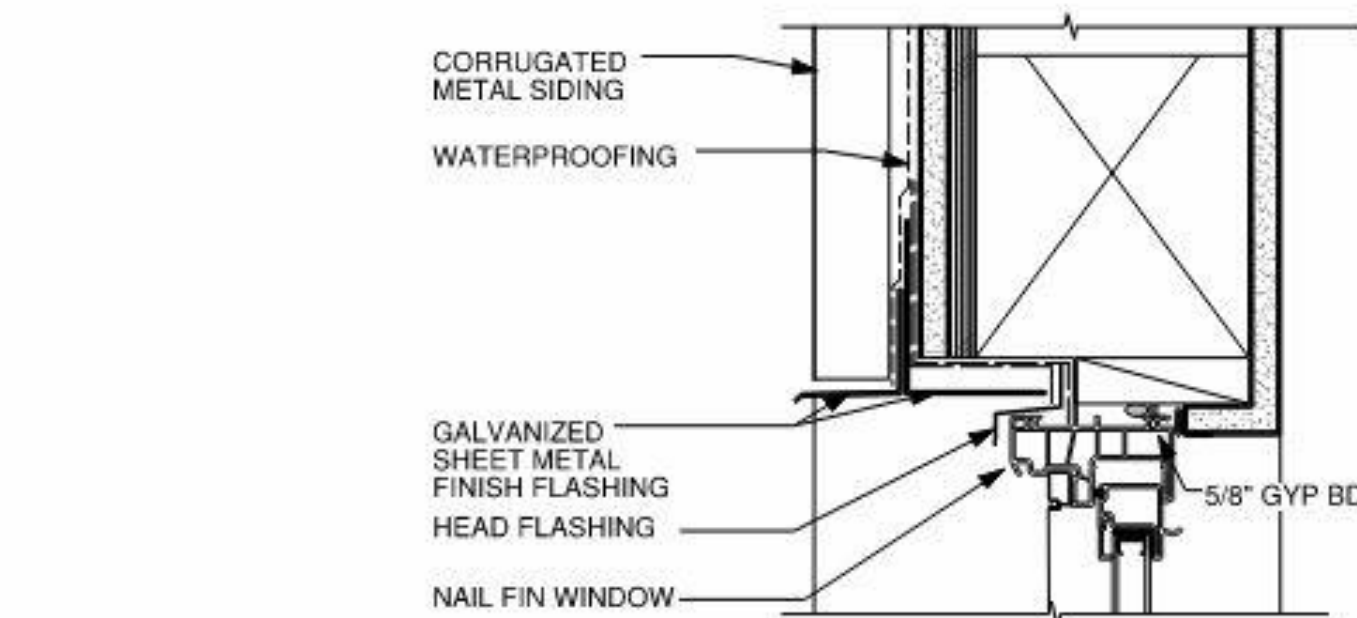
REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
L	RESUBMITTA	L1

STAMP

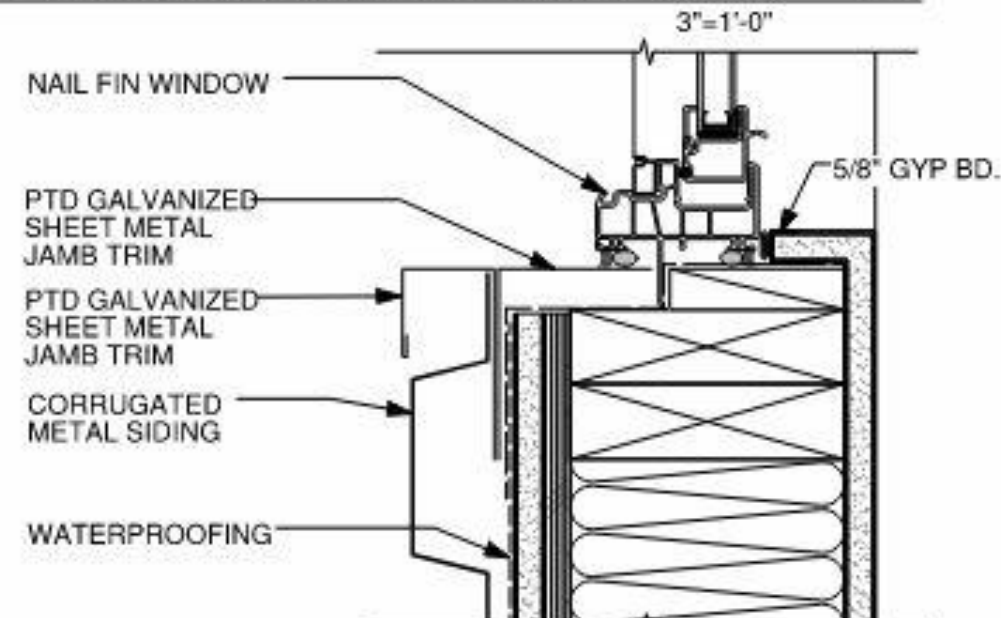
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

EXT. DETAILS &
MATERIALS

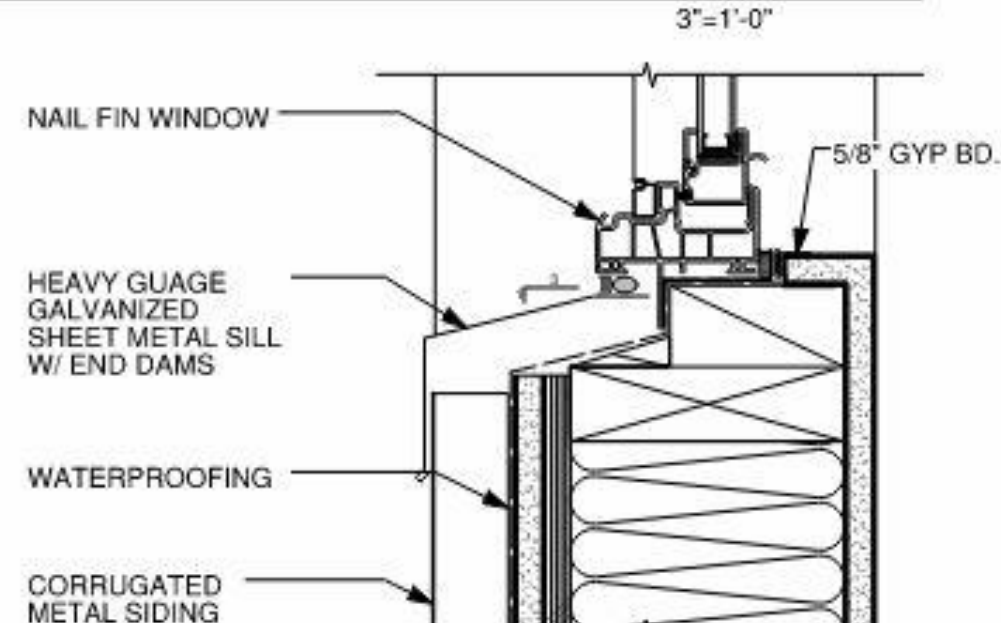
SHEET TITLE:
SCALE:
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42



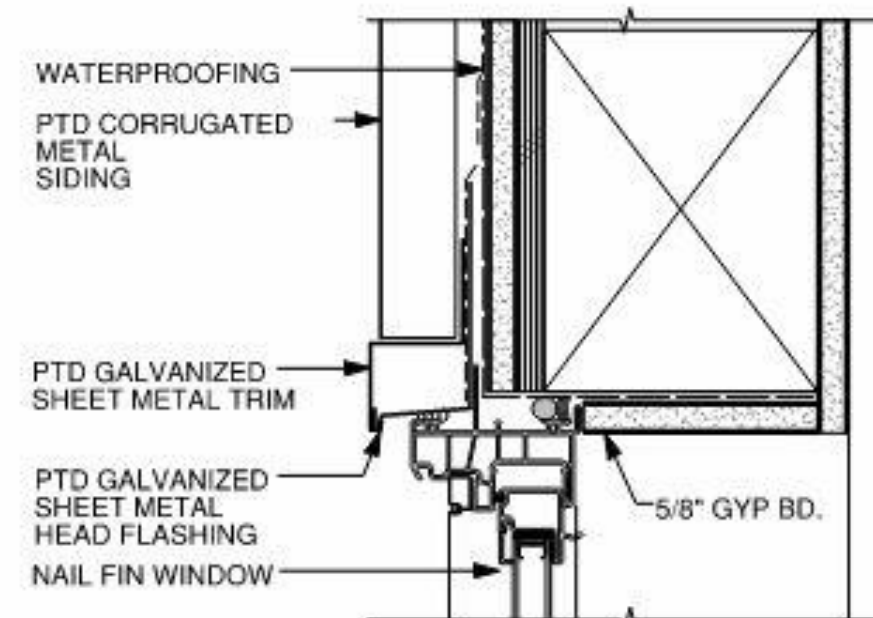
RECESSED WINDOW - CORRUGATED METAL SIDING - HEAD 18



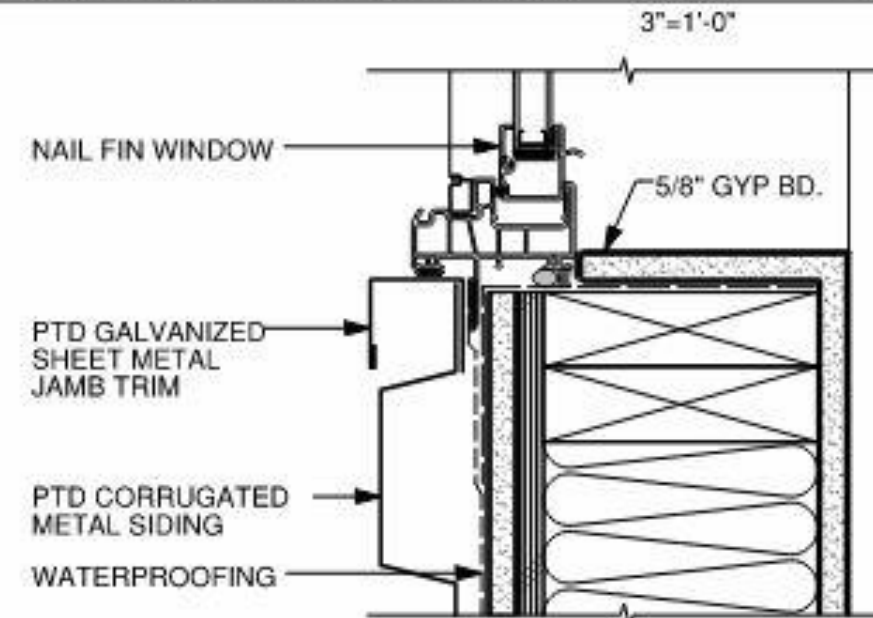
RECESSED WINDOW - CORRUGATED METAL SIDING - JAMB 17



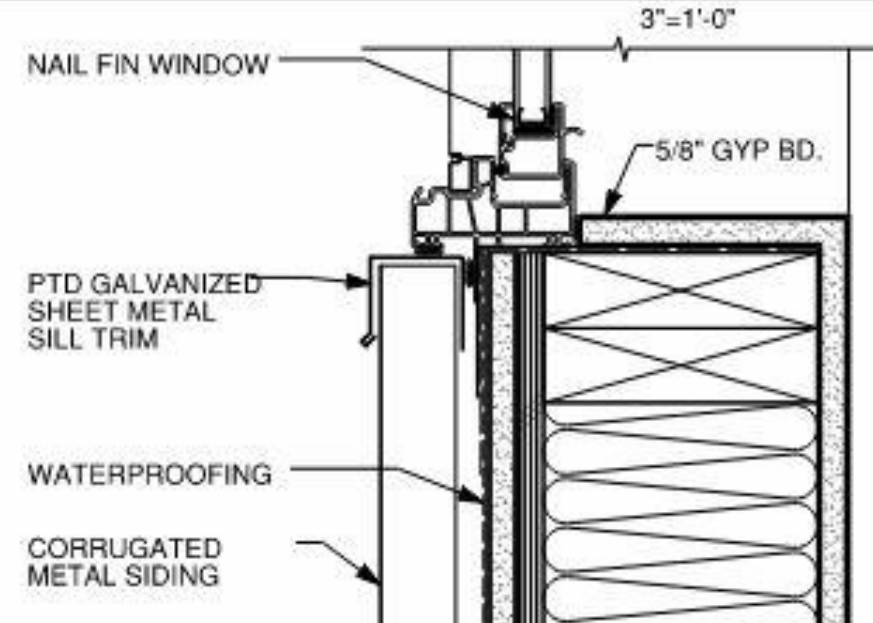
RECESSED WINDOW - CORRUGATED METAL SIDING - SILL 16



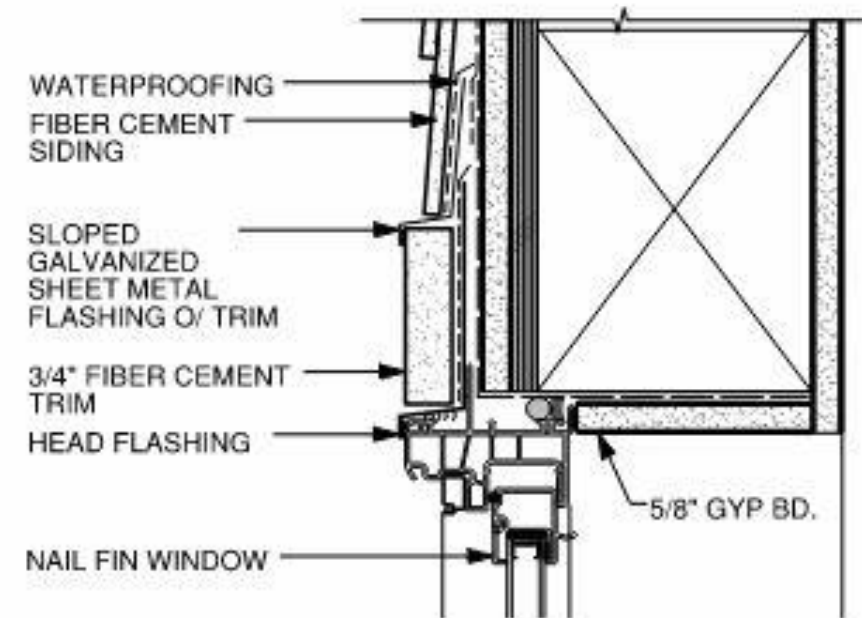
WINDOW - CORRUGATED METAL SIDING - HEAD 13



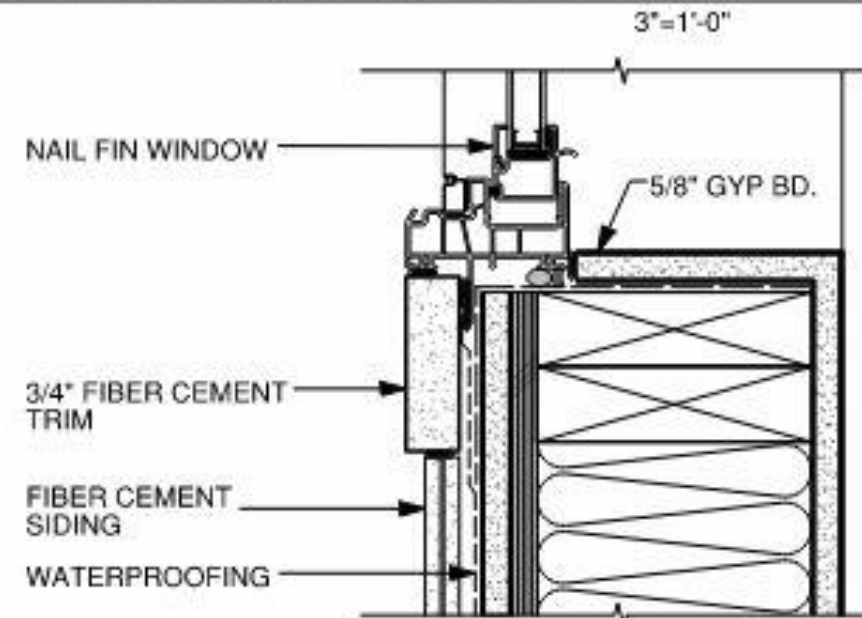
WINDOW - CORRUGATED METAL SIDING - JAMB 12



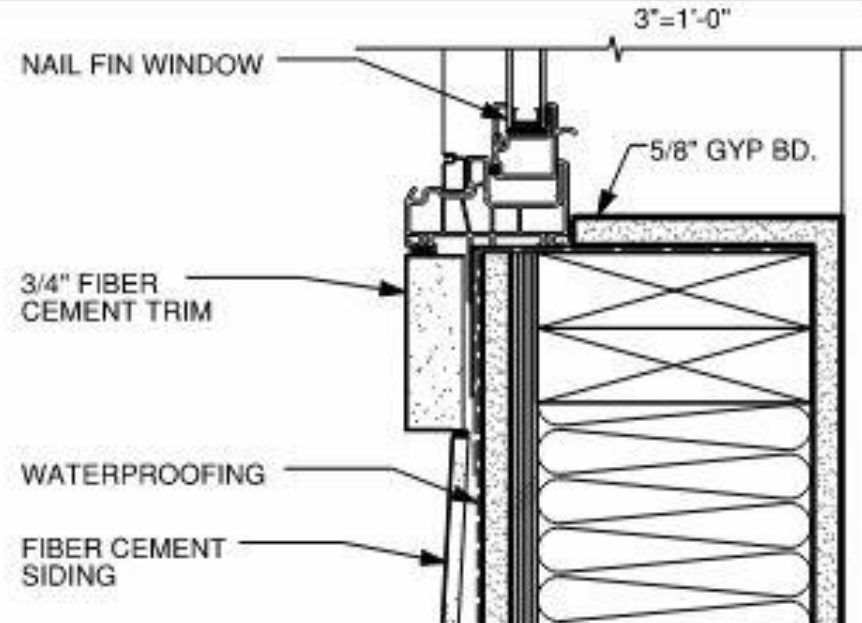
WINDOW - CORRUGATED METAL SIDING - SILL 11



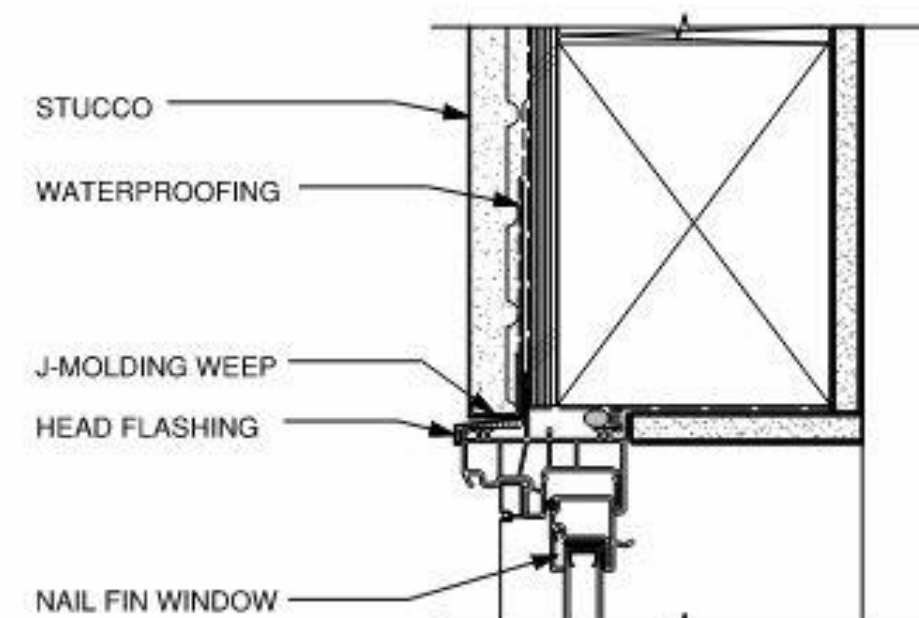
WINDOW - FIBER CEMENT LAP SIDING- HEAD 9



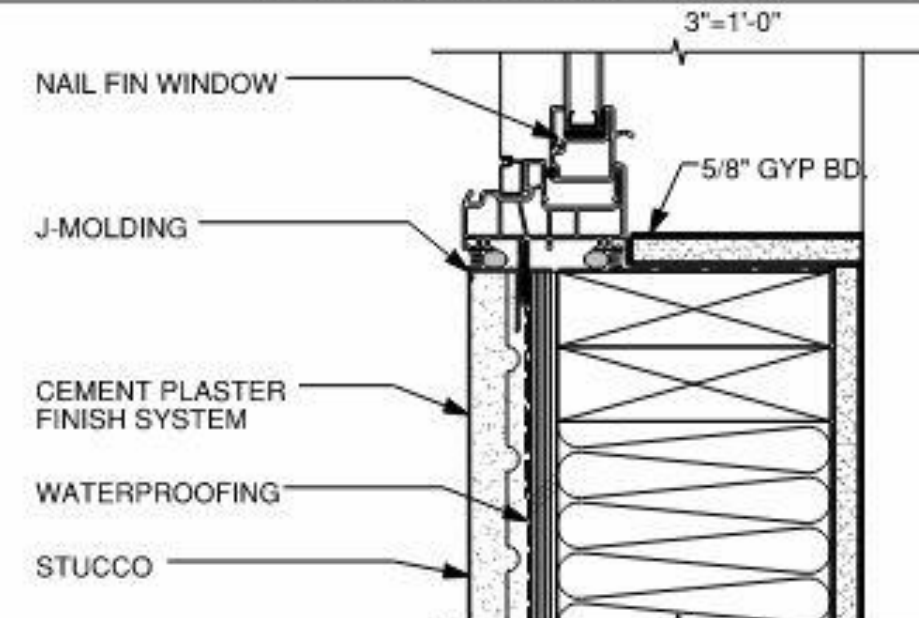
WINDOW - FIBER CEMENT LAP SIDING- JAMB 8



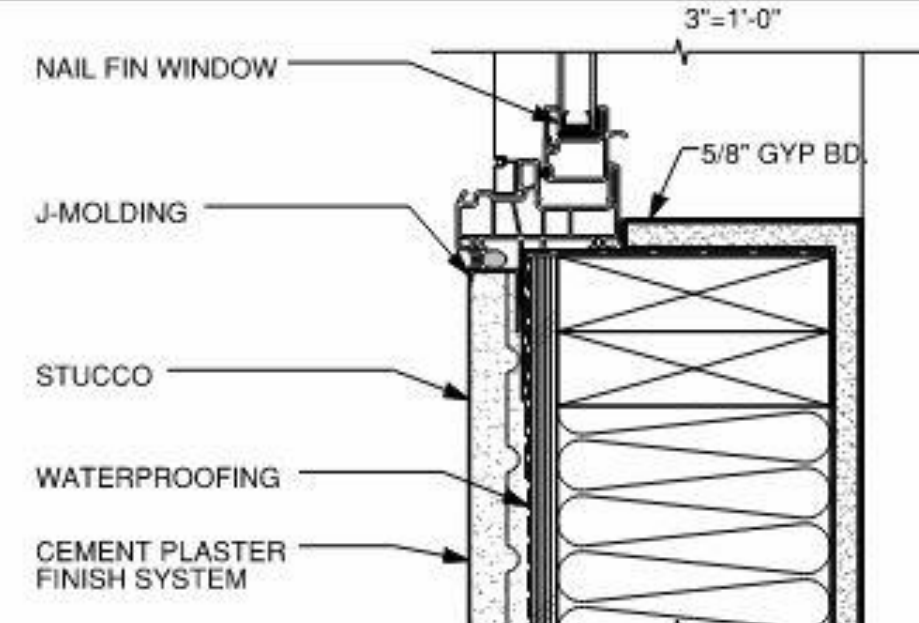
WINDOW - FIBER CEMENT LAP SIDING- SILL 7



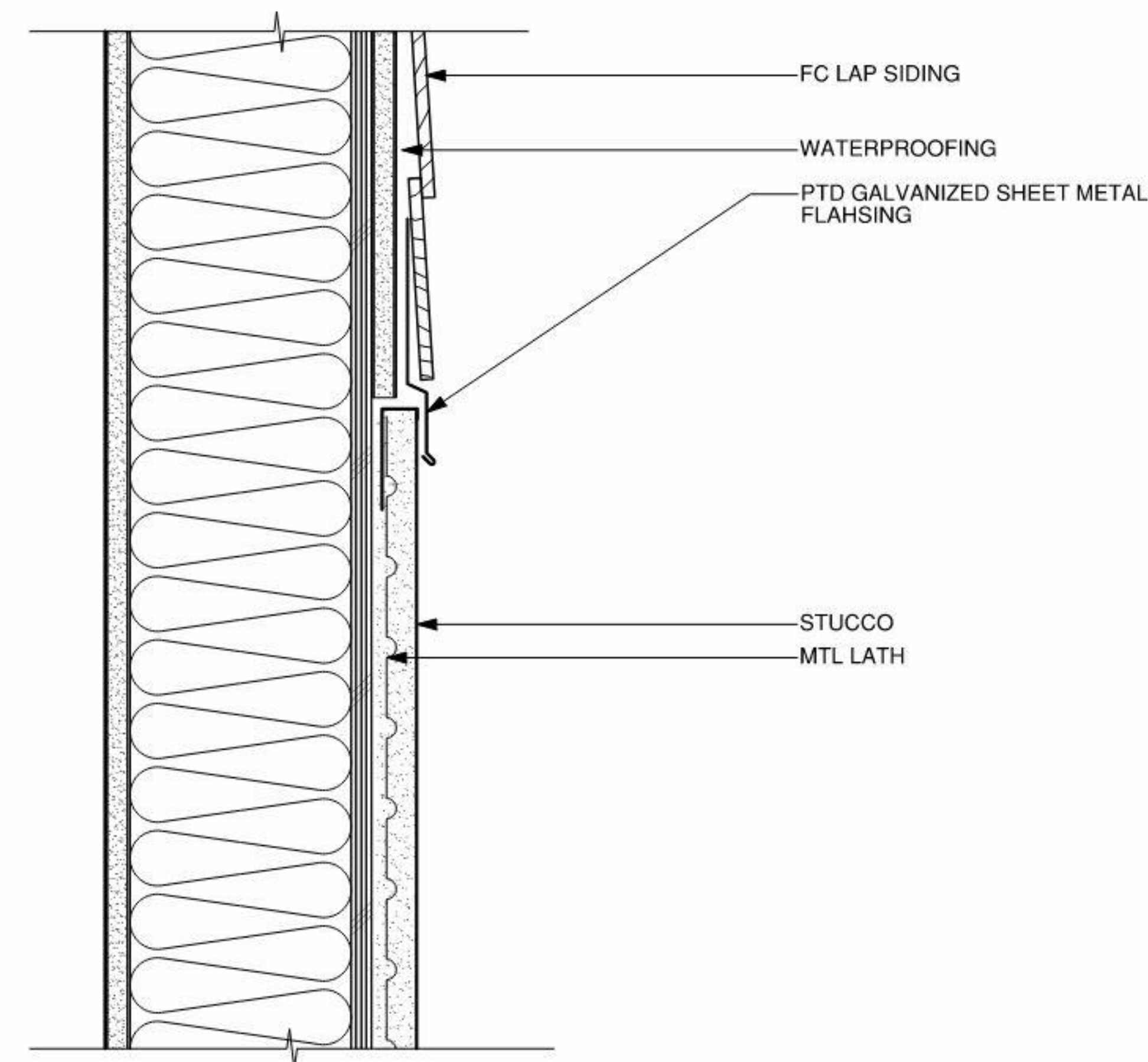
WINDOW - STUCCO - HEAD 4



WINDOW - STUCCO - JAMB 3

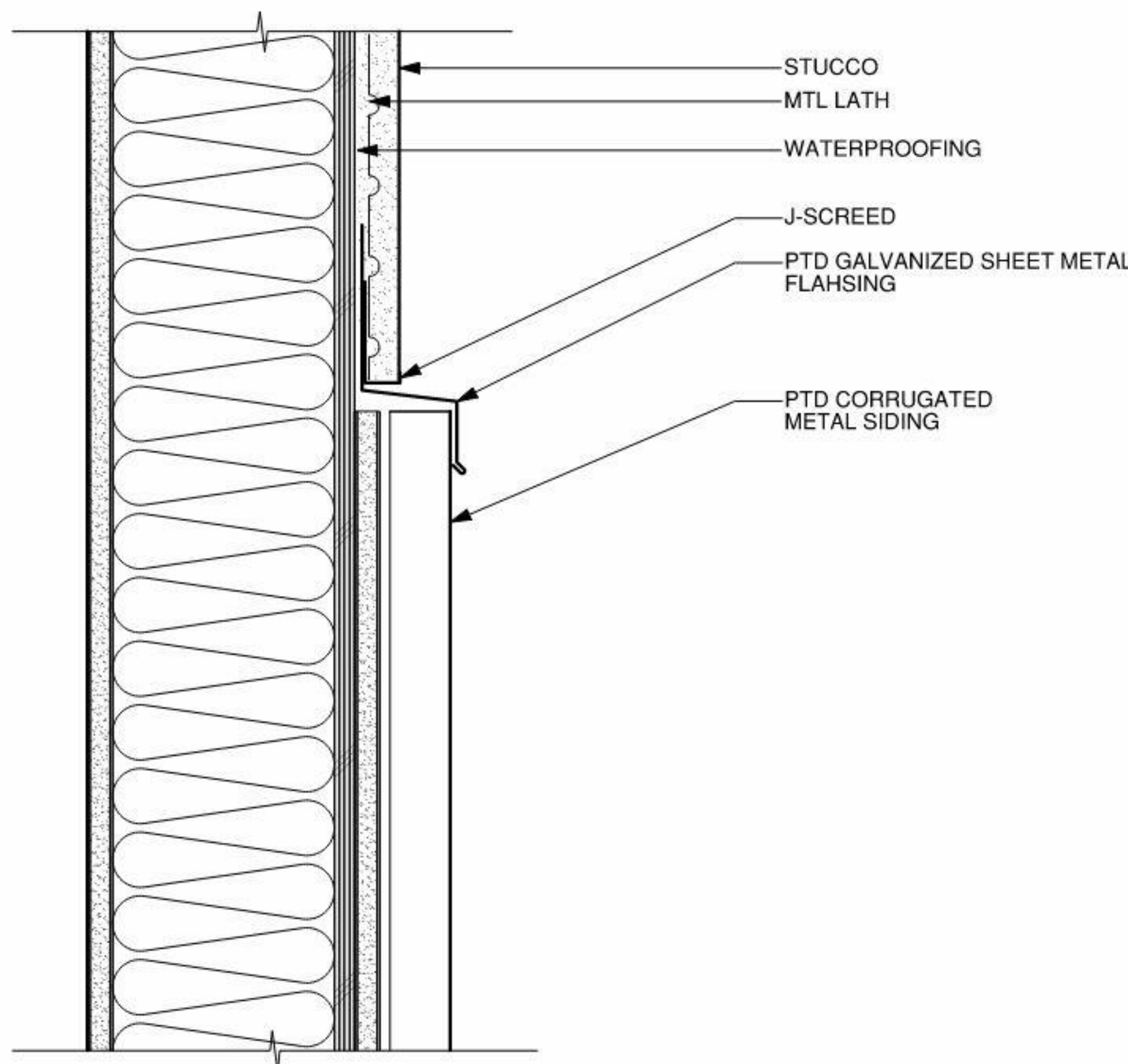


WINDOW - STUCCO - SILL 2



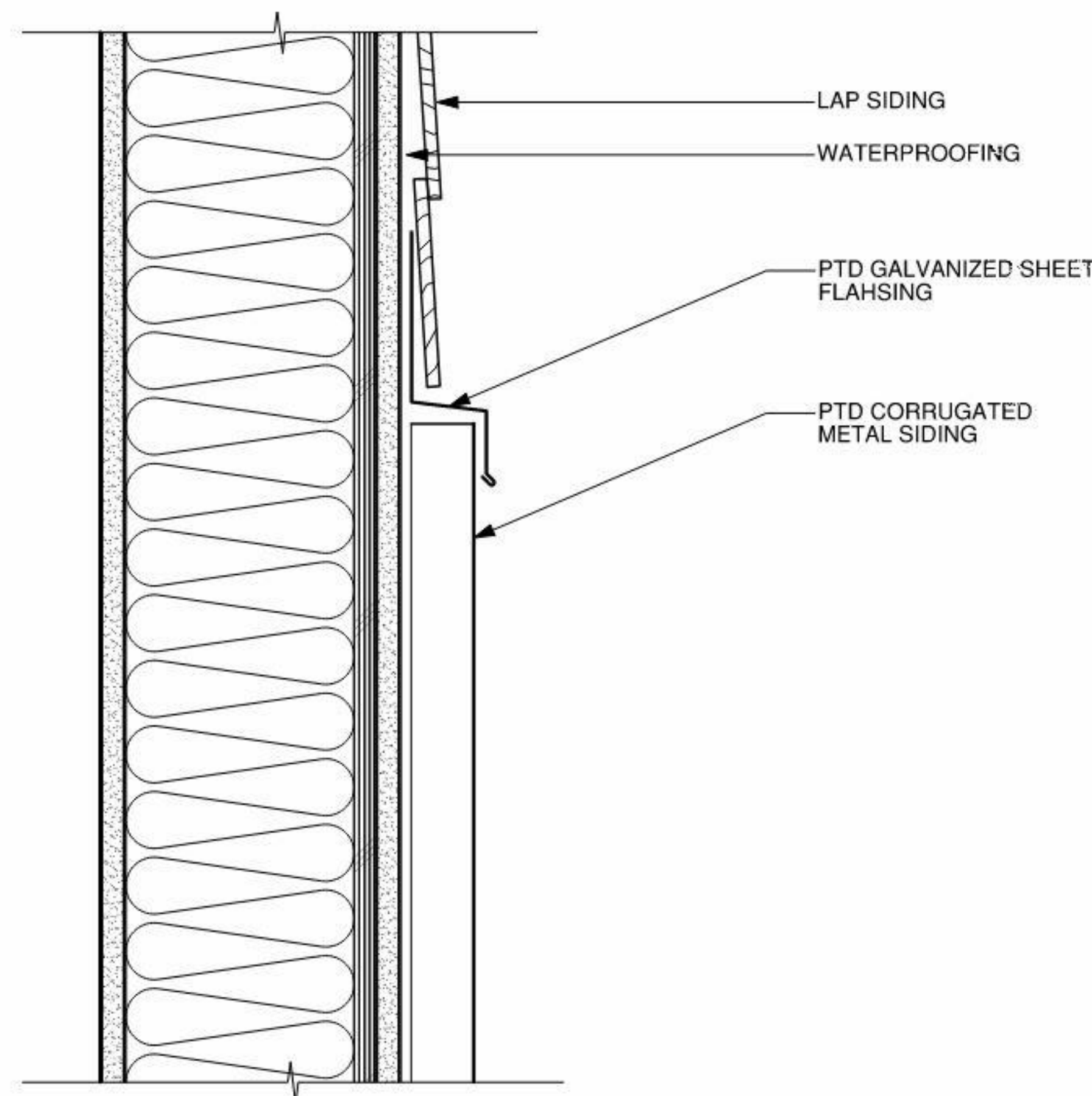
FC LAP SIDING TO STUCCO 10

3" = 1'-0"



STUCCO TO CORRUGATED MTL SIDING 6

3" = 1'-0"



FIBER CEMENT LAP SIDING TO CORRUGATED MTL SIDING 1

3" = 1'-0"

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

REV	ISSUE	DATE
	ENTITLEMEN T	5.5.22
1	PLANNING RESUBMITTA L 1	6.6.22

STAMP

ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL,
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE DUPLICATED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT

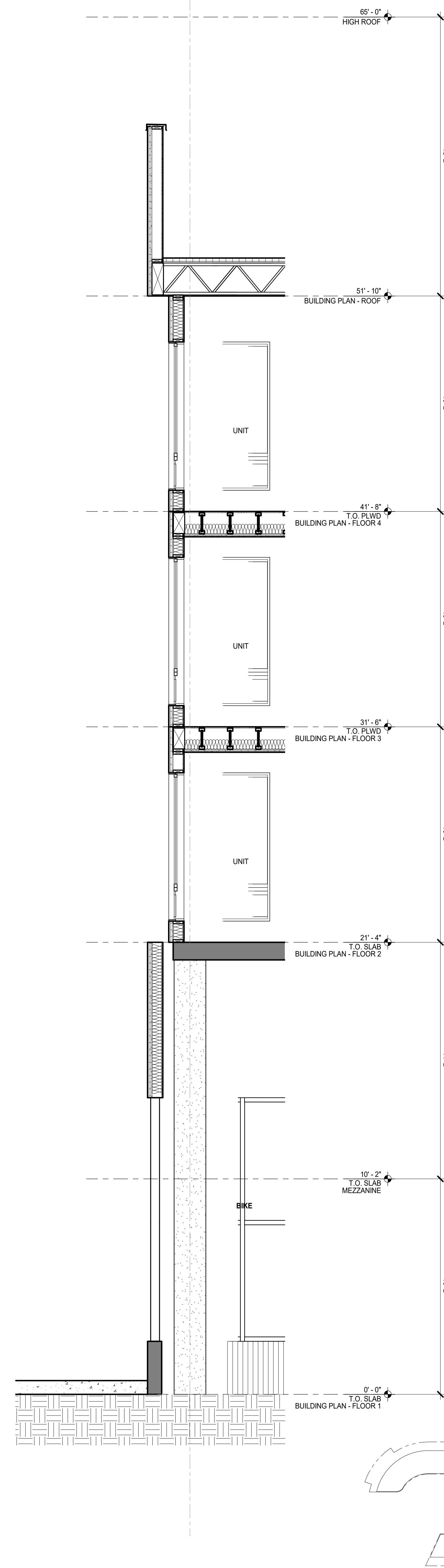
WALL SECTION

SHEET TITLE: _____
SCALE: As indicated
PROJ. #. 2110 DRAWN BY: Author
SHEET SIZE: 30 x 42

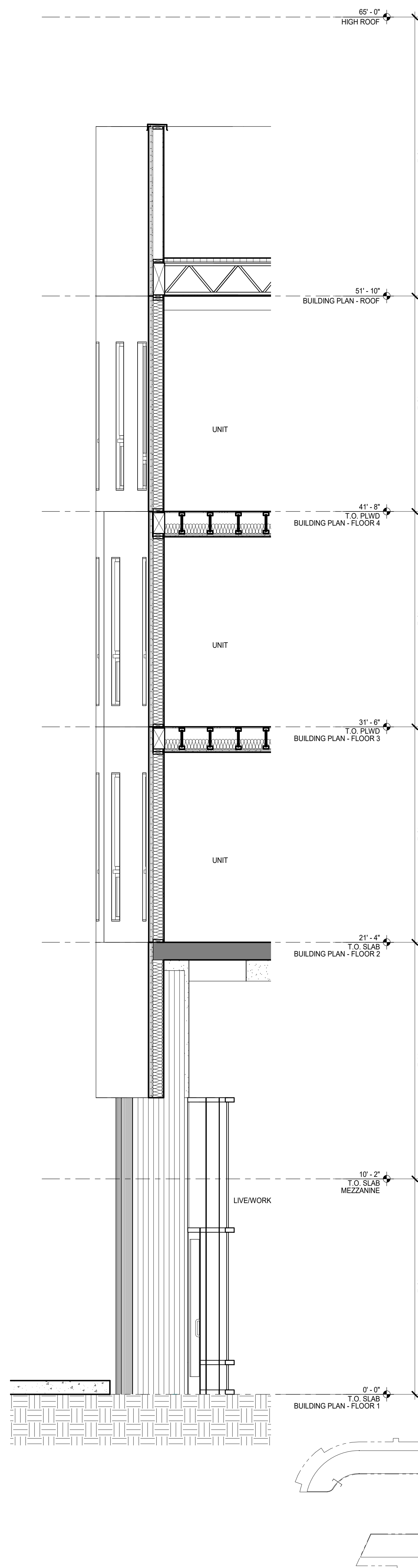
AP7.00

GENERAL NOTES

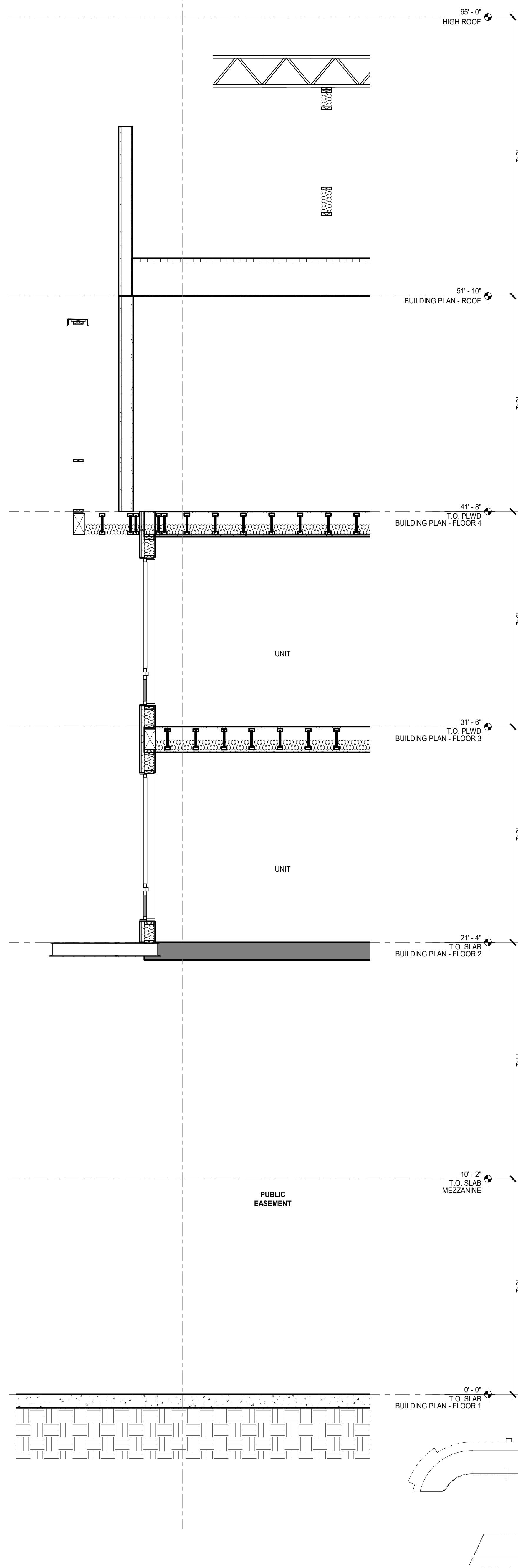
- A. SITE ELEVATION HEIGHT OF XXX'-XXX" = 0'-0".
- B. GC SHALL COORDINATE EXTERIOR FINISHES WITH EXTERIOR ELEVATIONS.
- C. SEE SHEETS A10.00 & A10.01 FOR WALL TYPE SCHEDULE AND FLOOR/ROOF ASSEMBLIES.
- D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
- E. GC TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER FRAMED VOIDS.
- F. ALL GC FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS. NOT EVERY OCCURRENCE OF GC FLASHING IS SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE GC FLASHING AT ALL MATERIAL TRANSITIONS.
- G. SOLDERED TRANSITION FLASHING (STF) SHOWN ARE TYPICAL. NOT ALL LOCATIONS ARE INDICATED. STFS SHALL BE REQUIRED AT ALL 3-DIMENSIONAL TRANSITIONS OF PLANE OR MATERIAL. PROVIDE SHOP DRAWINGS THAT FULLY DEPICT ALL REQUIRED STFS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- H. SEE ROOF PLANS AND ELEVATIONS FOR PARAPET HEIGHTS.
- I. ROOF SLOPES NOTED ARE MINIMUMS. GC TO INCLUDE AND COORDINATE ROOF CROCKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- J. GC SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- K. NOT EVERY OCCURRENCE OF SEALANTS ARE SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE SEALANTS AS REQ. AT ALL MATERIAL TRANSITIONS.
- L. THRESHOLDS SHALL BE COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR, 1/2" MAX HEIGHT.
- M. CONCRETE TENSILE COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS.
- N. GC SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY TRANSITIONED SYSTEM MEETING THE GC SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD.
- O. THE GC SHALL INCLUDE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLO FORMED METAL TRUSS AND GYPSUM BOARD CEILING. WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL ACCESSORY TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
- P. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
- Q. NOT EVERY ASPECT OR EVERY FIRE STOPPING DETAIL IS INDICATED IN THE CDS. THE GC SHALL INCLUDE ALL FIRE STOPPING. SAFING THAT WILL BE REQUIRED TO COMPLETE THE PROJECT AND RECEIVE APPROVAL FROM LOCAL INSPECTORS.
- R. PROVIDE REQUIRED EXTENSION OF THE ONE-HOUR OR TWO EXTERIOR WALL CONSTRUCTION THROUGH ATTIC. USE DOUBLE BLOCKING AND OR RATED GWB TO UNDERSIDE OF ROOF SHEATHING.
- S. DRAFT STOPS REQUIRED PER CBC 7103 R SHALL BE 1/2" SHEATHING TO UNDERSIDE OF ROOF OR APPROVED ALIKE.
- T. GC TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- U. ALL GUARDRAILS SHALL BE 43" AFF.



WALL SECTION 1

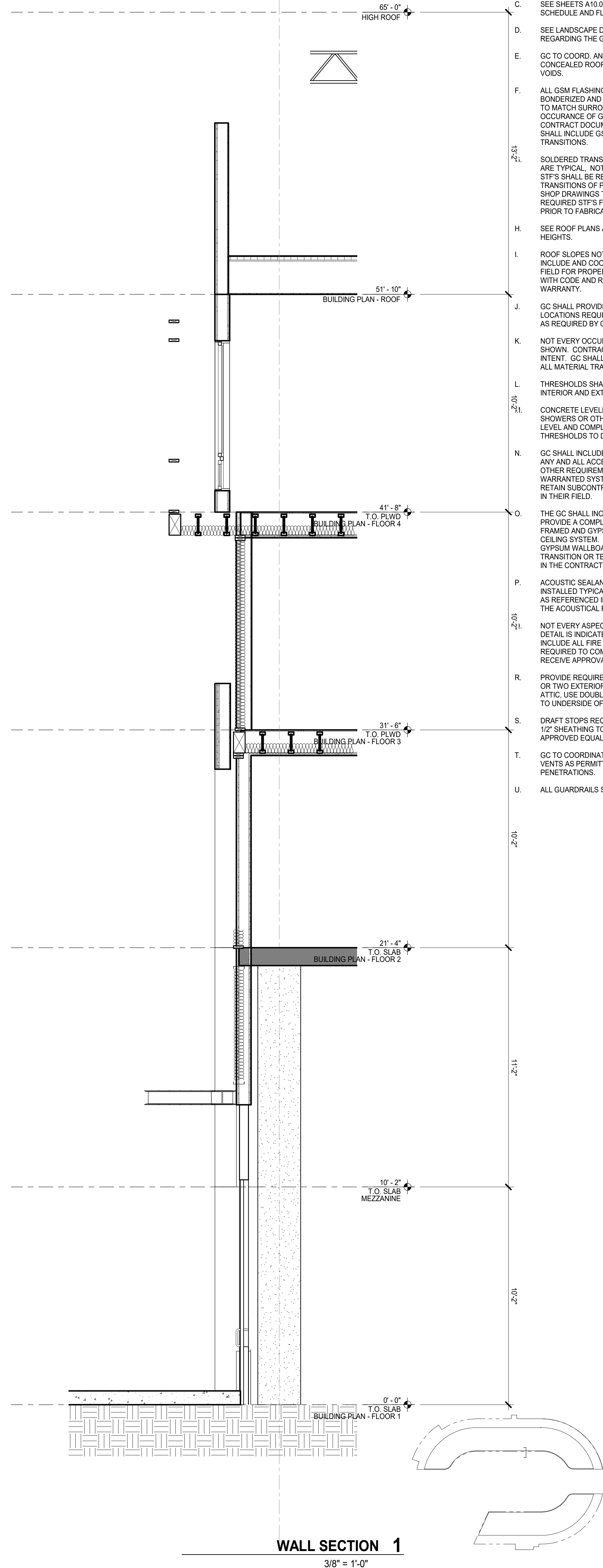
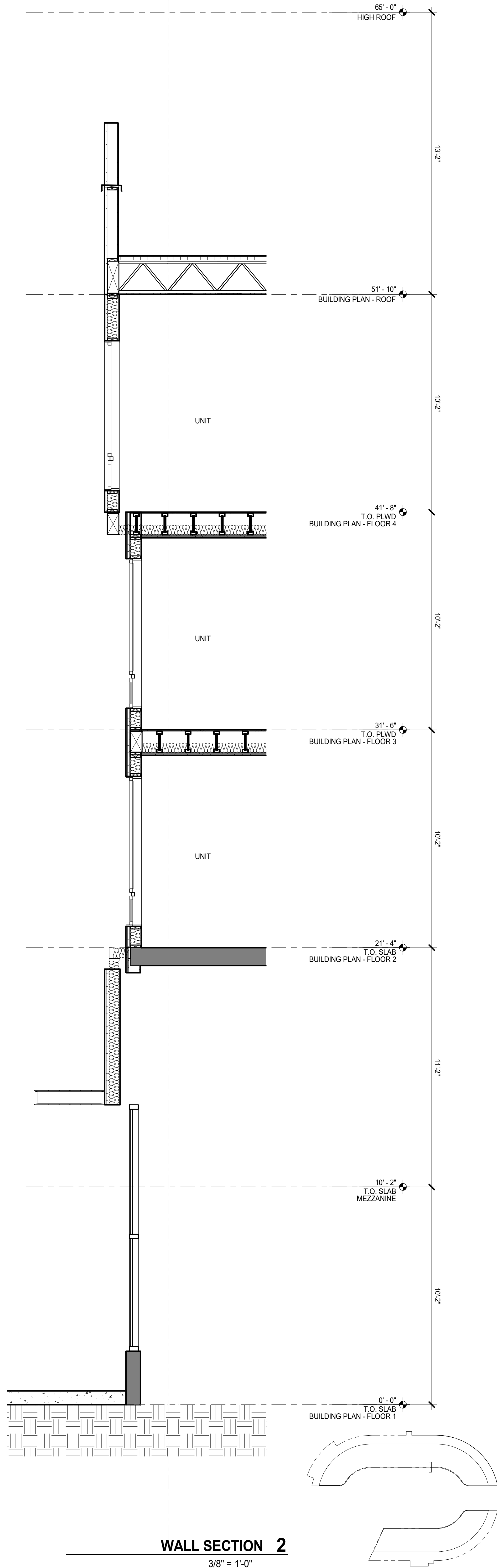
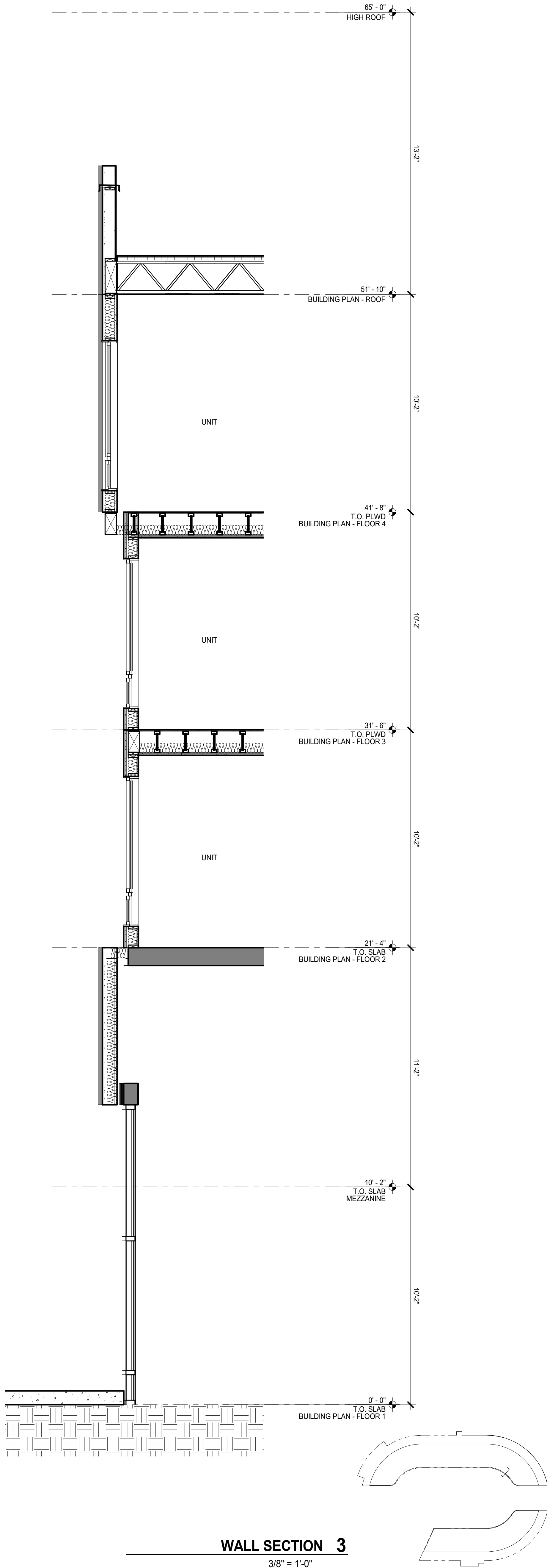


WALL SECTION 2



WALL SECTION 3

6/10/2022 4:08:56 PM



- GENERAL NOTES**
- A. SITE ELEVATION HEIGHT OF XXX'-XX" = 0'-0".
 - B. G.C. SHALL COORDINATE EXTERIOR FINISHES WITH EXTERIOR ELEVATIONS.
 - C. SEE SHEETS A10.00 & A10.01 FOR WALL TYPE SCHEDULE AND FLOOR/ROOF ASSEMBLIES.
 - D. SEE LANDSCAPE DRAWINGS FOR INFORMATION REGARDING THE GRADING OF ALL EXTERIOR AREAS.
 - E. GC TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER FRAMED VOIDS.
 - F. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS. NOT EVERY OCCURRENCE OF GSM FLASHING IS SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE GSM FLASHING AT ALL MATERIAL TRANSITIONS.
 - G. SOLDERED TRANSITION FLASHING (STF) SHOWN ARE TYPICAL. NOT ALL LOCATIONS ARE INDICATED. STF'S SHALL BE REQUIRED AT ALL 3-DIMENSIONAL TRANSITIONS OF PLANES OR MATERIALS. PROVIDE SHOP DRAWINGS THAT FULLY DEPICT ALL REQUIRED STF'S FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 - H. SEE ROOF PLANS AND ELEVATIONS FOR PARAPET HEIGHTS.
 - I. ROOF SLOPES NOTED ARE MINIMUMS. GC TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
 - J. GC SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
 - K. NOT EVERY OCCURRENCE OF SEALANTS ARE SHOWN. CONTRACT DOCUMENTS SHOW DESIGN INTENT. GC SHALL INCLUDE SEALANTS AS REQ. AT ALL MATERIAL TRANSITIONS.
 - L. THRESHOLDS SHALL BE COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR, 1/2" MAX HEIGHT.
 - M. CONCRETE LEVELING COMPOUND AT DECKS, SHOWERS OR OTHERWISE TO PROVIDE FLUSH LEVEL AND COMPLIANT TRANSITIONS AT DOOR THRESHOLDS TO DECKS AND TO SHOWERS.
 - N. GC SHALL INCLUDE, WHETHER SPECIFIED OR NOT, ANY AND ALL ACCESSORIES, COMPONENTS OR OTHER REQUIREMENTS TO PROVIDE A FULLY WARRANTED SYSTEM. MEANING THE GC SHALL RETAIN SUBCONTRACTORS THAT ARE SPECIALISTS IN THEIR FIELD.
 - O. THE GC SHALL INCLUDE LABOR AND MATERIALS TO PROVIDE A COMPLETE COLD FORMED METAL FRAMED AND GYPSUM WALL BOARD WALL AND CEILING SYSTEM. NOT EVERY ASPECT OF EVERY GYPSUM WALLBOARD DETAIL, ACCESSORY, TRANSITION OR TERMINATION DETAIL IS INDICATED IN THE CONTRACT DOCUMENTS.
 - P. ACOUSTIC SEALANT SHALL BE FIRE RATED AND INSTALLED TYPICALLY THROUGHOUT THE PROJECT AS REFERENCED IN THE SPECS, DRAWINGS, AND IN THE ACOUSTICAL REPORTS.
 - Q. NOT EVERY ASPECT OF EVERY FIRE STOPPING DETAIL IS INDICATED IN THE CDS. THE GC SHALL INCLUDE ALL FIRE STOPPING, SFRING THAT WILL BE REQUIRED TO COMPLETE THE PROJECT AND RECEIVE APPROVAL FROM LOCAL INSPECTORS.
 - R. PROVIDE REQUIRED EXTENSION OF THE ONE-HOUR OR TWO EXTERIOR WALL CONSTRUCTION THROUGH ATTIC. USE DOUBLE BLOCKING AND OR RATED GWB TO UNDERSIDE OF ROOF SHEATHING.
 - S. DRAFT STOPS REQUIRED PER CBC 718.3 SHALL BE 1/2" SHEATHING TO UNDERSIDE OF ROOF OR APPROVED EQUAL.
 - T. GC TO COORDINATE MECHANICAL AND PLUMBING VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
 - U. ALL GUARDRAILS SHALL BE 43" AFF

BDE
ARCHITECTURE
934 Howard Street
San Francisco, CA
94103

P. (415) 677-0966

CLIENT

Spirit
LIVING GROUP

CONSULTANT

500 HOPPER
500 HOPPER STREET
PETALUMA, CA

REV	ISSUE	DATE
T	ENTITLEMEN	5.5.22
1	PLANNING	6.6.22
	RESUBMITTA	
	L 1	

STAMP
ALL DRAWINGS AND WRITTEN MATERIAL
APPEARING HEREIN CONSTITUTE ORIGINAL
AND UNPUBLISHED WORK OF THE
ARCHITECT AND MAY NOT BE REPRODUCED,
USED OR DISCLOSED WITHOUT THE
WRITTEN CONSENT OF THE ARCHITECT.

WALL SECTION

SHEET TITLE:
SCALE: As indicated
PROJ.# 2110 DRAWN: Author
SHEET SIZE: 30 x 42

AP7.01